

Stirling Marina & Boat Sales

Dania Beach, Florida

APPROVED BY
CITY COMMISSION
DATE: 10/28/14 w/conditions

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Planning
Department



Vander Ploeg and Associates, Inc.
architects and planners
155 east boca raton road
boca raton, florida 33432

(561) 368-1403



RENDERED VIEW FROM SOUTHWEST CORNER

Stirling Marina & Boat Sales



Vander Ploeg and Associates, Inc.
architects and planners
155 east boca raton road
boca raton, florida 33432

(561) 368-1403

14004

OCT. 8, 2014

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STIRLING MARINA AND BOAT SALES

COMM. NO. 14004

DEVELOPED BY:
PROJECT USA, L.L.C.
3405 NORTH OCEAN DRIVE
HOLLYWOOD, FLORIDA 33019-3805
(305) 510-1418; Fax (786) 351-5912

ADDRESS:
**150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA**

DRC SUBMISSION DATE: 7-2-14
FINAL DRC SUBMISSION DATE: 8-6-14
COUNCIL SUBMISSION DATE: 9-8-14
COUNCIL SUBMISSION REV: 10-8-14

Consulting Engineering & Science
Civil/Coastal Engineers

10700 N. Kendall Drive, Suite 400
Miami, Florida 33176
(305) 378-5555; Fax (305) 279-4553

A. Grant Thornbrough and Associates
Landscape Architects

132 N. Swinton Avenue
Delray Beach, Florida 33444
(561) 276-5050; Fax (561) 276-8777

Vander Ploeg and Associates, Inc.
Architects and Planners

155 East Boca Raton Road
Boca Raton, Florida 33432
(561) 368-1403; Fax (561) 750-8051

JMD Engineering, Inc.
Traffic Engineer

12773 Forest Hill Boulevard, Suite 204
Wellington, Florida 33424
(561) 383-5595; Fax (561) 383-5596

Professional Surveyors, Inc.
Land Surveyor

7744 Taft Street
Pembroke Pines, Florida 33024
(954) 241-3000

PROFESSIONAL SURVEYORS, INC.

MAILING ADDRESS: P.O. BOX 813368, HOLLYWOOD, FL 33081-3368
 ADDRESS: 2243 ADAMS STREET #2, HOLLYWOOD, FL 33020

PROPERTY ADDRESS: 150 S. BRYAN ROAD, DANIA BEACH, FLORIDA, 33004

CERTIFIED TO:
 * PROJECT USA, L.L.C.

BOUNDARY SURVEY

SHEET 1 OF 2
 NOT VALID WITHOUT ALL SHEETS

FILE: 05-1511B-D
 REF: ALTA
 FOR: PROJECT USA, L.L.C.
 DATE: 06-24-2014

FLOOD ZONE: AE 7 - COMMUNITY NUMBER: 120034 - MAP/PANEL NUMBER: 12011C0308F

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT "A", THENCE SOUTH 87°55'33" WEST ON AN ASSUMED BEARING ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 14.00 FEET; THENCE NORTH 21°13'59" EAST, A DISTANCE OF 35.39 FEET TO THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 02°04'22" EAST ALONG SAID EAST LINE, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

CONTAINING 83,163.7 SQUARE FEET, 1.91 ACRES, MORE OR LESS.

TREE TABLE

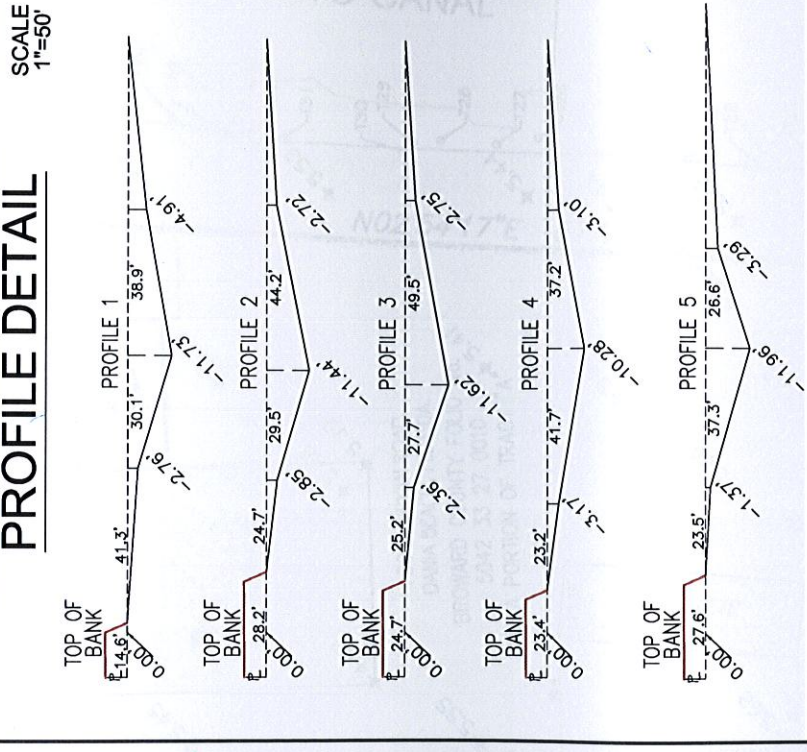
POINT	NORTHING	EASTING
T 1	624243.05	933491.44
T 2	624256.31	933491.42
T 3	624272.75	933489.05
T 4	624280.34	933490.49
T 5	624292.75	933491.45
T 6	624305.09	933487.48
T 7	624321.62	933493.84
T 8	624326.49	933493.64
T 9	624339.77	933495.16
T 10	624345.35	933495.11
T 11	624347.29	933491.67
T 12	624350.07	933496.38
T 13	624363.75	933490.00
T 14	624374.58	933497.67
T 15	624387.24	933498.56
T 16	624393.33	933499.79
T 17	624401.39	933499.41
T 18	624406.88	933500.00
T 19	624421.85	933499.45
T 20	624429.98	933501.05
T 21	624437.21	933501.77
T 22	624453.47	933500.50
T 23	624472.92	933502.08
T 24	624474.75	933503.71
T 25	624477.00	933503.47
T 26	624513.85	933508.06
T 27	624525.20	933506.53
T 28	624540.14	933507.65
T 29	624547.53	933507.00
T 30	624550.37	933504.75
T 31	624582.56	933507.66
T 32	624591.79	933509.15
T 33	624596.97	933510.00
T 34	624598.22	933509.17
T 35	624612.04	933512.77
T 36	624631.23	933512.91
T 37	624665.13	933514.64
T 38	624675.72	933516.83
T 39	624685.57	933516.16
T 40	624688.19	933513.37
T 41	624705.53	933518.14
T 42	624707.63	933514.42
T 43	624710.23	933515.03
T 44	624714.83	933516.51
T 45	624720.23	933518.51
T 46	624727.85	933518.04
T 47	624739.90	933521.47
T 48	624796.10	933520.32
T 49	624800.63	933518.58
T 50	624803.20	933511.91

"ALTA/ACSM LAND TITLE SURVEY"

NOTE: THIS IS A COPYRIGHT DOCUMENT CONTAINING PROPRIETARY INFORMATION AND IS NOT WARRANTED BY PROFESSIONAL SURVEYORS, INC. OR THE SIGNING SURVEYOR WHEN COPIED BY OTHERS.

- THIS SKETCH AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1.2.3.4.5.7.11A.17 AND 22 OF TABLE A. THE FIELD WORK WAS COMPLETED ON 06-24-2014.
- RECORD AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT AND POINTS ARE WITHIN 0.1' POSITIONAL TOLERANCE.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT AND THE SAME, IF ANY, MAY NOT BE SHOWN ON THIS SKETCH.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929 (N.G.V.D. 1929).
- WALL TIES ARE TO THE FACE OF THE WALL, AND FENCE TIES ARE TO THE CENTERLINE OF THE FENCE POSTS.
- THE OWNERSHIP OF FENCES, IF ANY, IS NOT DETERMINED BY THIS SKETCH.
- THERE ARE BROKEN AND DETERIORATED ASPHALT PATCHES IN VERY POOR CONDITION THROUGHOUT CERTAIN PORTIONS OF THIS PARCEL THAT ARE NOT SHOWN.
- FOR ILLUSTRATIVE PURPOSES, SOME SYMBOLS IN LEGEND THAT APPEAR IN SKETCH MAY NOT BE DRAWN TO SCALE.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE PURPOSE FOR USE AS AN AID IN OBTAINING A PERMIT ON THE HEREON DESCRIBED PROPERTY. NO ADDITIONAL WARRANTIES ARE HEREBY EXTENDED AND THIS SKETCH MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SIGNING SURVEYOR.
- THE COORDINATES SHOWN HEREON ARE NAD 83 RE-ADJUSTMENT OF 1990 (NAD 83/90) AND ARE BASED ON BROWARD COUNTY ENGINEERING DEPARTMENT CONTROL POINTS.

PROFILE DETAIL



LEGEND & ABBREVIATIONS:

- (C).....CALCULATED
- C.G.....CURB AND GUTTER
- CH.....CHORD
- CHRG.....CHORD BEARING
- C.M.E.....CANAL MAINTENANCE EASEMENT
- CNA.....CORNER NOT ACCESSIBLE
- CONC.....CONCRETE
- A.....DELTA (CENTRAL ANGLE)
- D.E.....DRAINAGE EASEMENT
- EOP.....EDGE OF PAVEMENT
- FC.....FENCE CORNER
- FDH.....FOUND DRILL HOLE
- FE.....FENCE ENDS
- F.F.....FINISHED FLOOR
- PIP/PIR.....FOUND IRON PIPE/ROD
- FN.....FOUND NAIL
- FN&D.....FOUND NAIL AND DISC
- FPKN.....FOUND PARKER KALON NAIL
- ID.....IDENTIFICATION
- L.....LENGTH
- (M).....MEASURE
- N#.....ADDRESS NUMBER
- ORB.....OFFICIAL RECORDS BOOK
- (P).....PLAT
- PB.....PLAT BOOK
- P.C.....POINT OF CURVATURE
- P.C.C.....POINT OF COMPOUND CURVATURE
- PG.....PAGE
- P.I.....POINT OF INTERSECTION
- P.O.B.....POINT OF BEGINNING
- P.O.C.....POINT OF COMMENCEMENT
- P.R.C.....POINT OF REVERSE CURVATURE
- P.T.....POINT OF TANGENCY
- R.....RADIUS
- (R).....RECORD
- R/W.....RIGHT-OF-WAY
- SIR.....SET 1/2" IRON ROD
- SND.....SET NAIL AND DISC
- (TYP).....TYPICAL
- U.E.....UTILITY EASEMENT
- W.E.....WATER'S EDGE
- +.....MORE OR LESS
- OVERHEAD CABLES(OH)
- POLYVINYLCHLORIDE FENCE (PVCF)
- WIRE OR CHAIN LINK FENCE (CLF)
- WOOD FENCE (WF) UTILITY EASEMENT LINE
- METAL FENCE (MF)
- ASPHALT PAVING
- CONCRETE BLOCK WALL
- CONCRETE
- CONCRETE PAVERS
- OVERHANG(OIH) OR ROOF
- COMMUNICATIONS BOX
- CATCH BASIN (CB)
- SEWER MANHOLE
- UTILITY POLE (UP)
- LIGHT POLE (LP)
- WATER METER (WM)
- UTILITY ANCHOR
- FIRE HYDRANT (FH)
- HANDICAP PARKING (HCP)
- CONCRETE PARKING STOP
- METAL BOLLARD
- TRAFFIC SIGNAL BOX
- OFFSET
- CENTER LINE
- PROPERTY LINE
- SEWER CLEANOUT
- GAS METER
- ELECTRIC METER (EM)
- ELECTRIC BOX (FPL)
- PLANTER OR PLANTED POINT
- HAND BOX (TRAFFIC)
- WELL
- INDICATES DIMENSION IS NOT TO SCALE
- WATER VALVE RISER
- BOUNDARY CORNER
- ELEVATION OVERHEAD CABLES
- ELEVATION
- POINT OF ELEVATION

LOCATION SKETCH

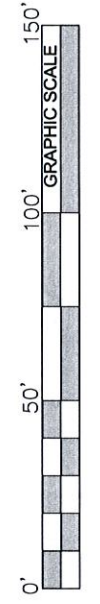
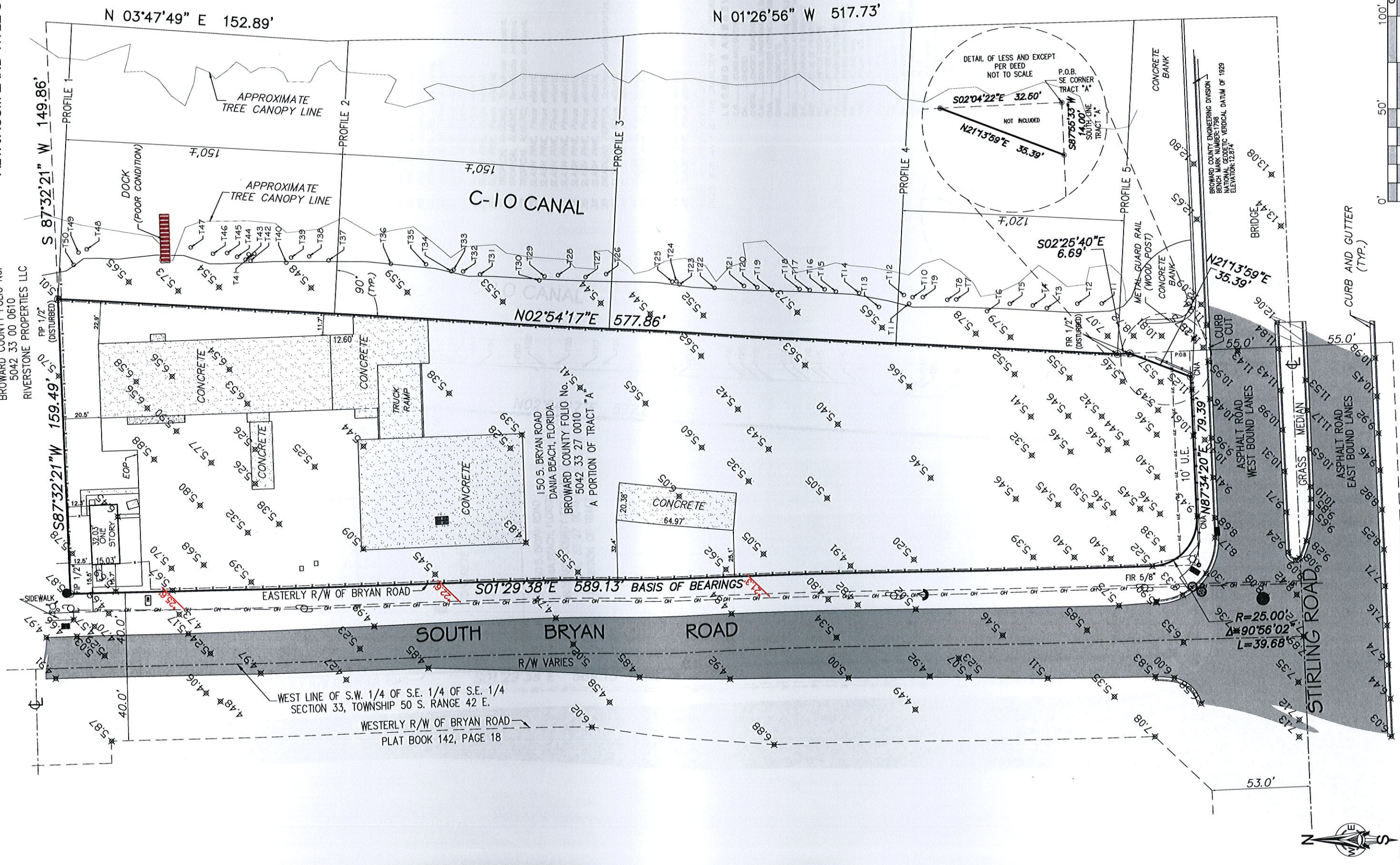


NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

Paul J. Stowell

PAUL J. STOWELL
 PROFESSIONAL SURVEYOR & MAPPER No. 5241
 STATE OF FLORIDA

"ALTA/ACSM LAND TITLE SURVEY"



SCALE 1"=50'

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PROFESSIONAL SURVEYORS, INC.

MAILING ADDRESS: P.O. BOX 813368, HOLLYWOOD, FL 33081-3368

PROPERTY ADDRESS: 150 S. BRYAN ROAD, DANIA BEACH, FLORIDA. 33004

CERTIFIED TO:
* PROJECT USA, L.L.C.

FILE: 05-1511C
TREES
FOR: PROJECT USA, L.L.C.
DATE: 08-01-2014

BOUNDARY SURVEY

PROPERTY APPRAISER'S PARCEL ID: 5042 33 27 0010

LEGAL DESCRIPTION:

TRACT "A", OF "SYMONS PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT "A", THENCE SOUTH 87°55'33" WEST ON AN ASSUMED BEARING ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 14.00 FEET; THENCE NORTH 21°13'59" EAST, A DISTANCE OF 35.39 FEET TO THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 02°04'22" EAST ALONG SAID EAST LINE, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

CONTAINING 83,163.7 SQUARE FEET, 1.91 ACRES MORE OR LESS.

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 • RECORD AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT AND POINTS ARE WITHIN 0.1' POSITIONAL TOLERANCE.
 • TREE LOCATIONS ARE WITHIN 0.75' POSITIONAL TOLERANCE. TREES WITH A DBH OF LESS THAN 2.5 INCHES ARE NOT SHOWN.
 • THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER INTERESTS. EASEMENTS WERE NOT LOCATED.
 • UNDERGROUND PORTIONS OF POSTINGS, FOUNDATION OR OTHER STRUCTURES WERE NOT LOCATED.
 • WALL TIES ARE TO THE FACE OF THE WALL, AND FENCE TIES ARE TO THE CENTERLINE OF THE FENCE POSTS.
 • THE OWNERSHIP OF FENCES, IF ANY, IS NOT DETERMINED BY THIS SKETCH.
 • BASIS OF BEARINGS, IF ANY, ARE ASSUMED PER PLAT AND/OR LEGAL DESCRIPTION.
 • FOR ILLUSTRATIVE PURPOSES, SOME SYMBOLS IN LEGEND THAT APPEAR IN SKETCH MAY NOT BE DRAWN TO SCALE.
 • THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE PURPOSE FOR USE AS AN AID IN ILLUSTRATING TREES ON THE HEREON DESCRIBED PROPERTY. NO ADDITIONAL WARRANTIES ARE HEREBY EXTENDED AND THIS SKETCH MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SIGNING SURVEYOR.

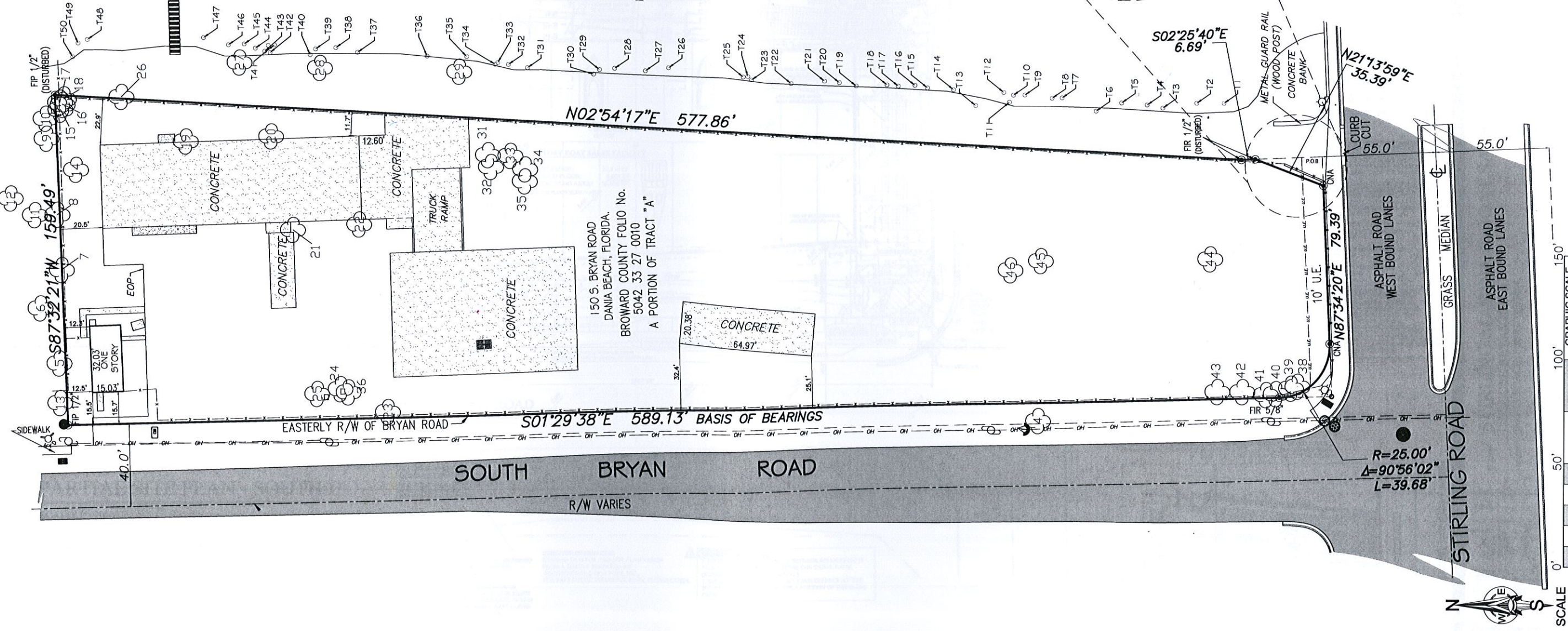
TREE TABLE

#	COMMON NAME, scientific name	DBH
4	SLASH PINE, <i>Pinus elliotii</i> ,	2.85'
5	SABAL PALM, <i>Sabal palmetto</i> ,	0.95'
6	SABAL PALM, <i>Sabal palmetto</i> ,	1.60'
7	SABAL PALM, <i>Sabal palmetto</i> ,	1.65'
8	SABAL PALM, <i>Sabal palmetto</i> ,	1.45'
9	SABAL PALM, <i>Sabal palmetto</i> ,	1.55'
10	CACHEO PALM, <i>Pseudophoenix vinifera</i> ,	0.75'
11	LIVE OAK, <i>Quercus virginiana</i> ,	0.70'
12	LIVE OAK, <i>Quercus virginiana</i> ,	0.80'
13	SABAL PALM, <i>Sabal palmetto</i> ,	0.75'
14	LIVE OAK, <i>Quercus virginiana</i> ,	1.40'
15	DAHOON Holly, <i>Ilex cassine</i> ,	0.23'
16	DAHOON Holly, <i>Ilex cassine</i> ,	0.30'
17	DAHOON Holly, <i>Ilex cassine</i> ,	0.27'
18	LIVE OAK, <i>Quercus virginiana</i> ,	0.30'
19	STRANGLER FIG, <i>Ficus aurea</i> ,	0.90'
20	SABAL PALM, <i>Sabal palmetto</i> ,	1.45'
21	SLASH PINE, <i>Pinus elliotii</i> ,	0.35'
22	SLASH PINE, <i>Pinus elliotii</i> ,	0.40'
23	SLASH PINE, <i>Pinus elliotii</i> ,	1.0'
24	SLASH PINE, <i>Pinus elliotii</i> ,	1.20'
25	SLASH PINE, <i>Pinus elliotii</i> ,	1.45'
26	TROPICAL ALMOND, <i>Terminalia catappa</i> ,	0.70'
27	TROPICAL ALMOND, <i>Terminalia catappa</i> ,	0.60'
28	TROPICAL ALMOND, <i>Terminalia catappa</i> ,	0.45'
29	SLASH PINE, <i>Pinus elliotii</i> ,	0.55'
30	SLASH PINE, <i>Pinus elliotii</i> ,	0.24'
31	SLASH PINE, <i>Pinus elliotii</i> ,	0.21'
32	SLASH PINE, <i>Pinus elliotii</i> ,	0.22'
33	SLASH PINE, <i>Pinus elliotii</i> ,	0.26'
34	SLASH PINE, <i>Pinus elliotii</i> ,	0.26'
35	SLASH PINE, <i>Pinus elliotii</i> ,	0.26'
36	SLASH PINE, <i>Pinus elliotii</i> ,	0.75'
38	BRAZILIAN PEPPER, <i>Schinus terebinthifolius</i> ,	0.35'
39	SLASH PINE, <i>Pinus elliotii</i> ,	1.30'
40	SLASH PINE, <i>Pinus elliotii</i> ,	0.65' F
41	SLASH PINE, <i>Pinus elliotii</i> ,	0.23' F
42	SLASH PINE, <i>Pinus elliotii</i> ,	1.55'
43	SLASH PINE, <i>Pinus elliotii</i> ,	1.0'
44	SLASH PINE, <i>Pinus elliotii</i> ,	0.23'
45	SLASH PINE, <i>Pinus elliotii</i> ,	0.25'
46	SLASH PINE, <i>Pinus elliotii</i> ,	0.23'

NOTE: ALL TREES ARE IN GOOD CONDITION TREES WITH AN F BY THE DIAMETER ARE GROWING IN A FENCE.

LEGEND & ABBREVIATIONS:

- C.G. CURB AND GUTTER
- CH. CHORD
- CHBRG. CHORD BEARING
- C.M.E. CANAL MAINTENANCE EASEMENT
- C.N.A. CORNER NOT ACCESSIBLE
- CONC. CONCRETE
- A. DELTA (CENTRAL ANGLE)
- DBH. DIAMETER AT BREAST HEIGHT
- D.E. DRAINAGE EASEMENT
- EOP. EDGE OF PAVEMENT
- FC. FENCE CORNER
- FE. FENCE ENDS
- F.F. FINISHED FLOOR
- FIP/IR. FOUND IRON PIPE/ROD
- FN. FOUND NAIL
- FN&D. FOUND NAIL AND DISC
- FPKN. FOUND PARKER KALON NAIL
- ID. IDENTIFICATION
- L. LENGTH
- (M). MEASURE
- N. ADDRESS NUMBER
- ORB. OFFICIAL RECORDS BOOK
- (P). PLAT
- P.B. PLAT BOOK
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.G. PAGE
- P.I. POINT OF INTERSECTION
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.R.C. POINT OF REVERSE CURVATURE
- P.T. POINT OF TANGENCY
- R. RADIUS
- (R). RECORD
- R/W. RIGHT-OF-WAY
- SIR. SET 1/2" IRON ROD
- SND. SET NAIL AND DISC
- (TYP.). TYPICAL
- U.E. UTILITY EASEMENT
- W.E. WATER'S EDGE
- ±. MORE OR LESS
- OVERHEAD CABLES(OH)
- WIRE OR CHAIN LINK FENCE (CLF)
- WOOD FENCE (WF) UTILITY EASEMENT LINE
- CONCRETE BLOCK WALL
- CONCRETE
- CONCRETE PAVERS
- OVERHANG(OH) OR ROOF
- COMMUNICATIONS BOX
- CATCH BASIN (CB)
- SEWER MANHOLE
- UTILITY POLE (UP)
- LIGHT POLE (LP)
- WATER METER (WM)
- UTILITY ANCHOR
- FIRE HYDRANT (FH)
- TREE
- TRAFFIC SIGNAL BOX
- OFFSET
- CENTER LINE
- PROPERTY LINE
- SEWER CLEANOUT
- GAS METER
- ELECTRIC METER (EM)
- ELECTRIC BOX (EFL)
- PLANTER OR PLANTED POINT
- HAND BOX (TRAFFIC)
- WELL
- AIR CONDITIONER
- INDICATES DIMENSION IS NOT TO SCALE
- WATER VALVE RISER
- BOUNDARY CORNER



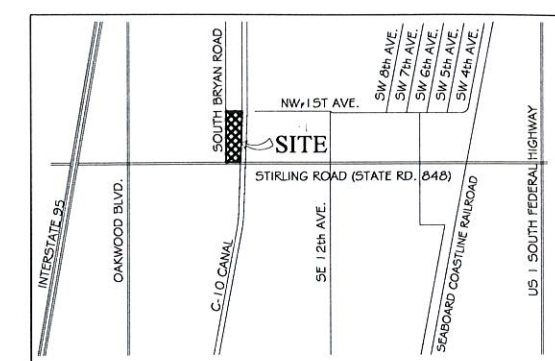
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NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

Paul J. Stowell
PAUL J. STOWELL
PROFESSIONAL SURVEYOR & MAPPER No. 5241
STATE OF FLORIDA

Use - Industrial - one story
 Owner: Stirling Industrial Park c/o Alan Levy
 1340 Stirling Road
 ZONING: BROWLAND USE, RAC
 FOLIO: 50423310030

N 01°26'56" W 517.73'



LOCATION PLAN
 NOT TO SCALE

SITE DATA
 PROPERTY ID NUMBER: 5042 33 27 0010
 ZONING DISTRICT: FROM - INDUSTRIAL RESEARCH, OFFICE AND MARINE DISTRICT
 FUTURE LAND USE DESIGNATION: RAC - REGIONAL ACTIVITY CENTER
 OVERLAY DISTRICT: DESIGN CENTER

USES: BOAT SALES AND SERVICE WITH PRIVATE MARINA BOAT DOCKS
 FEMA FLOOD ZONE: AE 7.0' - BASE FLOOD ELEV. - (BFE) MIN. FIN. FLOOR ELEV. (FFE) - +8.0' OR 1.0' ABOVE BFE
 PROPOSED FIN. FLOOR ELEVATIONS: SHOWROOM/OFFICES - (+8.5), SERVICE AREA - (+8.0)

LOT AREA: MAX. LOT AREA: NONE
 PROPOSED LOT AREA: 83,163.7 ± (1.91 ACRES)
BUILDING HT.: MAX. PERMITTED: 5 STY./62'-0"
 PROPOSED BUILDING HEIGHT: +38'-0" (TWO STORIES)

SETBACKS FROM PROPERTY LINE
BLDG. SETBACK TABULAR (INDICATES VARIANCE REQUESTED)

BLDG. SETBACK	PROVIDED	REQUIRED
FRONT (SOUTH BRYAN RD)	30 R.	30 R.
LEFT SIDE (OUTBOARD SIDE)	30 R.	30 R.
RIGHT SIDE (CORNER SIDE)	30 R.	30 R.
REAR	30 R.	30 R.

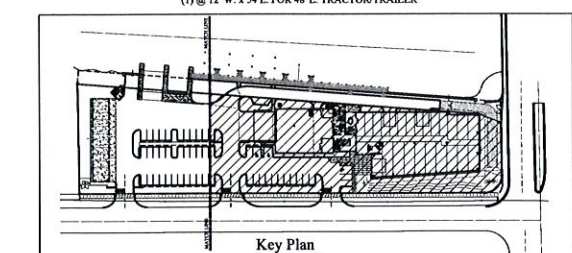
LOT COVERAGE DATA:
 COVERAGE ALLOWED: 83,163.7 SF x 7.0% = 5,821.46 SF
 COVERAGE PROVIDED: 25,606 SF or 30.79%
IMPERVIOUS AREA CALCULATION:
 TOTAL IMPERVIOUS AREA ALLOWED: 83,163.7 SF x 7.0% = 5,821.46 SF
 IMPERVIOUS AREA PROVIDED: 22,938 SF
BUILDING AREA CALCULATION:
 FIRST FLOOR: 1,556 SF
 SHIP STORE: 190 SF
 NEW BOAT SHOWROOM: 15,473 SF
 NIGHT SECURITY OFFICE: 84 SF
 SERVICE AREA: 5,232 SF
TOTAL FIRST FLOOR AREA: 22,938 SF
 SECOND FLOOR: 844 SF
 STORAGE: 2,824 SF
TOTAL SECOND FLOOR AREA: 3,668 SF
TOTAL BUILDING AREA: 26,606 SF

VEHICULAR USE AREA (VUA) LANDSCAPING CALCULATION:
 TOTAL VUA REQUIRED: 31,286 SF x 2.0% = 6,257 SF
 (EXCLUSIVE OF PERIMETER LANDSCAPE BUFFERS)
 TOTAL VUA LANDSCAPING PROVIDED: 10,147 SF (12.60%)
NOTES:
 1. MAX. SLOPE AT ACCESSIBLE ROUTE = 1:20 (5%)
 2. MAX. CROSS SLOPE AT ACCESSIBLE ROUTE = 1:50 (2%)

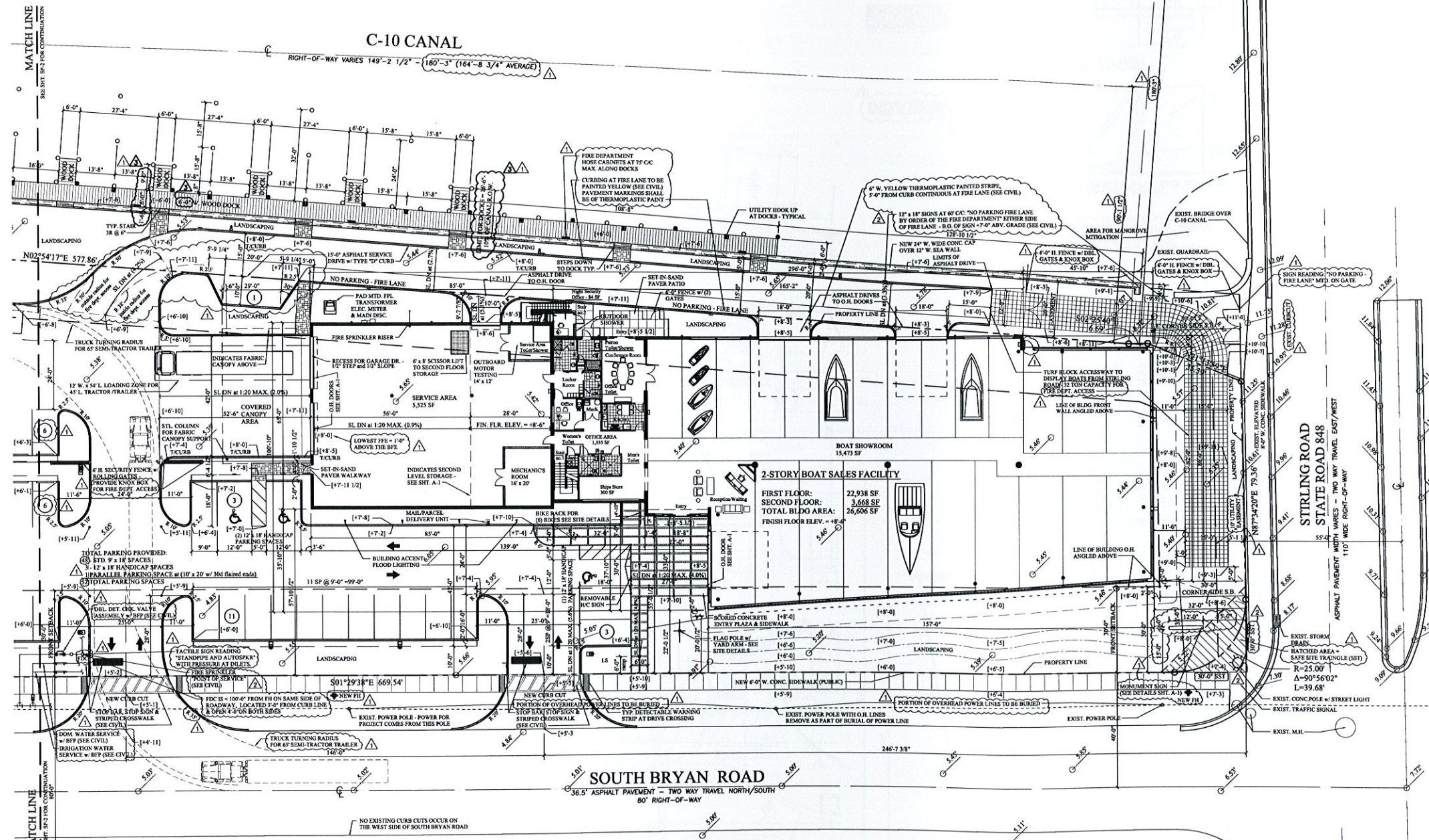
PARKING CALCULATION: (ALL FRACTIONS ROUNDED UP)
PARKING SPACES REQUIRED:
 OFFICES - 2,400 SF @ 1300 SF = 8.0 SP
 SHIP STORE - 300 SF @ 1300 SF = 1.0 SP
 NEW BOAT SHOWROOM - 15,473 SF @ 1500 SF = 31.0 SP
 SERVICE AREA - 5,232 SF @ 1500 SF = 11.0 SP
 STORAGE AREA - 2,824 SF @ 11000 SF = 3.0 SP
TOTAL PARKING SPACES REQUIRED = 54 SP
NOTE: 84 SF NIGHT SECURITY OFFICE IS NOT INCLUDED SINCE USE IS NON-CONCURRENT.
HANDICAP PARKING REQUIRED: 51-75 TOTAL SP = 3 SPACES
TOTAL HANDICAP PARKING PROVIDED = 3 SPACES
TOTAL PARKING SPACES PROVIDED:
 48 STANDARD PARKING SPACES @ (12' x 18') WITH 24'-0" BACK-UP
 1 PARALLEL PARKING SPACE @ (10' x 20' w/ 30d (daired ends))
 3 ACCESSIBLE HANDICAP SPACES @ (12' x 18') WITH 24'-0" BACK-UP
TOTAL PARKING SPACES PROVIDED = 54 SP
52 SPACE SHORTFALL ADDRESSED THRU A PARKING ALTERNATIVE STUDY PREPARED BY JMD ENGINEERING, INC., TRAFFIC ENGINEER

DOCK EXTENSION CALCULATION:
 AVERAGE CANAL R.O.W. WIDTH = 164.83' ±
 OR 164.73' x 10% (10) = 16.47 OR 16'-4" FOR MAX. DOCK EXTENSION

LOADING ZONE CALCULATION:
 LOADING ZONES REQUIRED: 25,001 - 40,000 SF REQUIRES 2 LOADING ZONES
 LOADING ZONES PROVIDED: (1) @ 12' W. x 71' L. FOR 45' L. TRACTOR/TRAILER
 (1) @ 12' W. x 54' L. FOR 48' L. TRACTOR/TRAILER



Key Plan
 To the best of the Architect's knowledge, the plans and specifications comply with the applicable minimum building codes.



PARTIAL SITE PLAN - SOUTH

SCALE: 1"=20'-0"
 0 10 25 50 100

Use - Industrial - one story
 FLORIDA SILICA SAND COMPANY
 181 S. Bryan Road, Dania Beach, FL
 ZONING: BROWLAND USE, RAC
 FOLIO: 50423310030

LEGAL DESCRIPTION:
 ADDRESS: 150 S. BRYAN ROAD, DANIA BEACH, FLORIDA 33004
 BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT "A", THENCE SOUTH 87°55'33" WEST ON AN ASSUMED BEARING ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 14.00 FEET, THENCE NORTH 21°13'59" EAST, A DISTANCE OF 35.39 FEET TO THE EAST LINE OF SAID TRACT "A", THENCE SOUTH 0°00'22" EAST ALONG SAID EAST LINE, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

SURVEYOR INFORMATION:
 INFORMATION FOR THIS SITE PLAN TAKEN FROM A SURVEY PREPARED BY: PROFESSIONAL SURVEYORS, INC., 7744 TAFT STREET PEMBROKE PINES, FLORIDA 33024.

REQUESTED VARIANCES:
 1. RELIEF FROM THE 20'-0" REAR SETBACK RELOCATING IT TO A 20'-0" EASEMENT WITHIN THE C-10 CANAL R.O.W.
 (SUBJECT TO SFMUD APPROVAL)
 2. RELIEF FROM THE 30'-0" FRONT YARD SETBACK AT THE SOUTH BRYAN ROAD R.O.W. FOR A PORTION OF THE BLDG. FRONTAGE.

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 boca raton, florida 33432

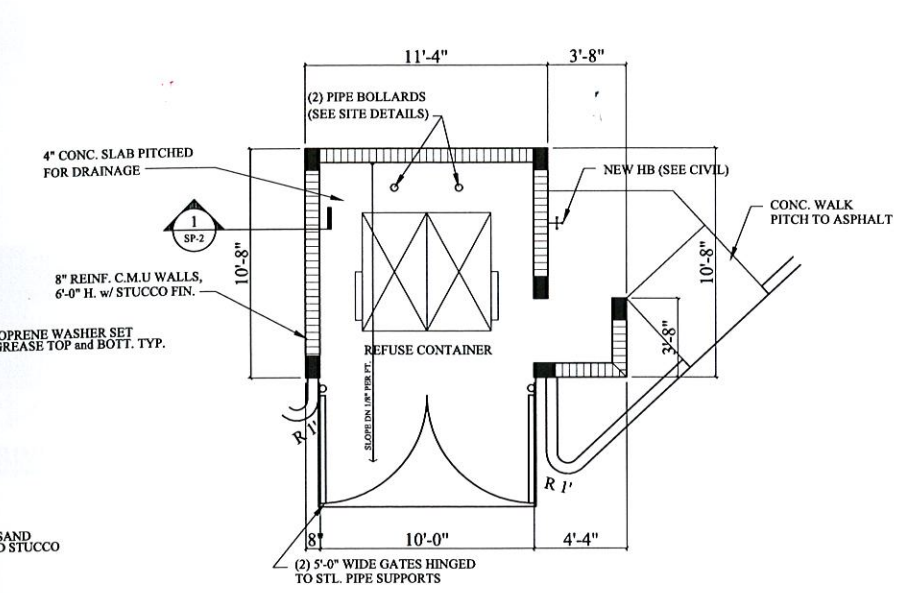
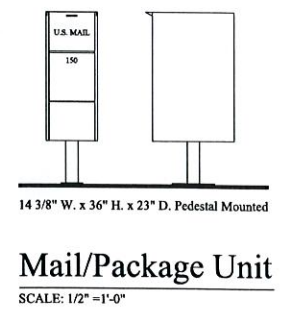
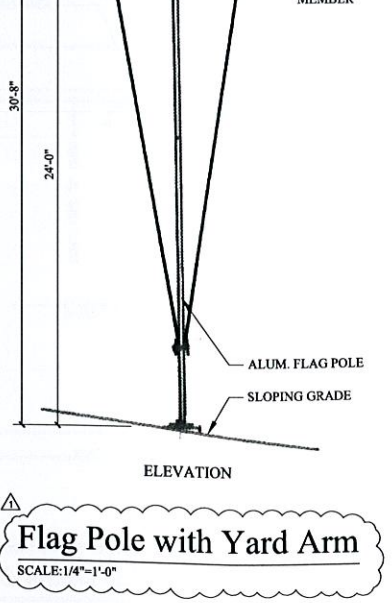
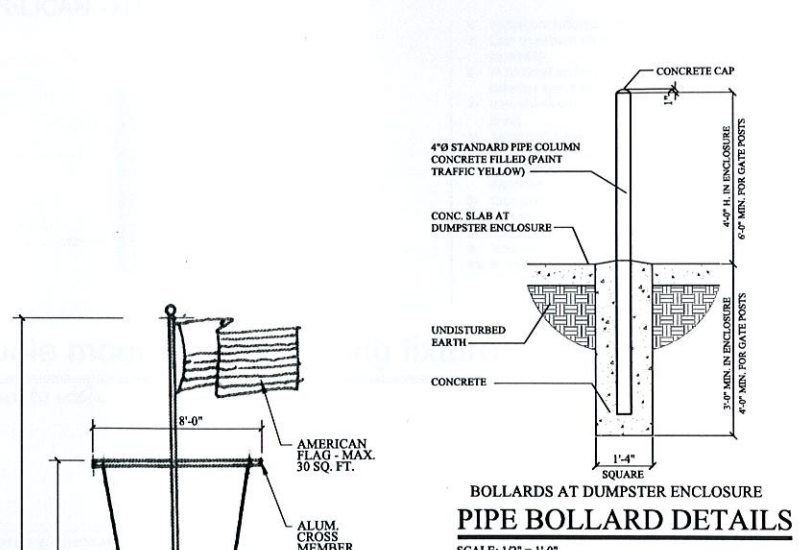
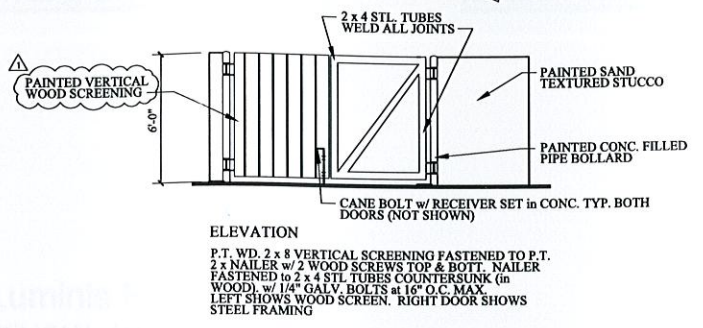
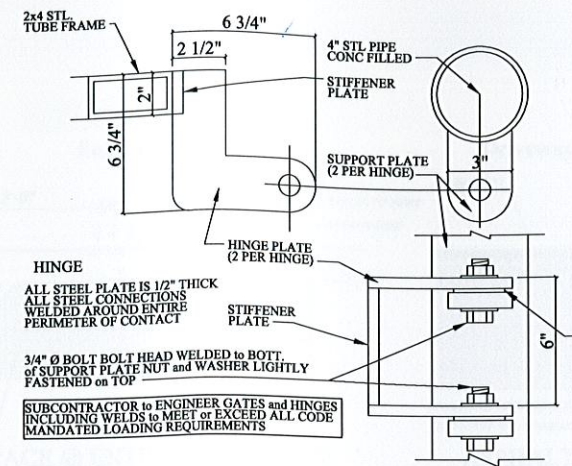
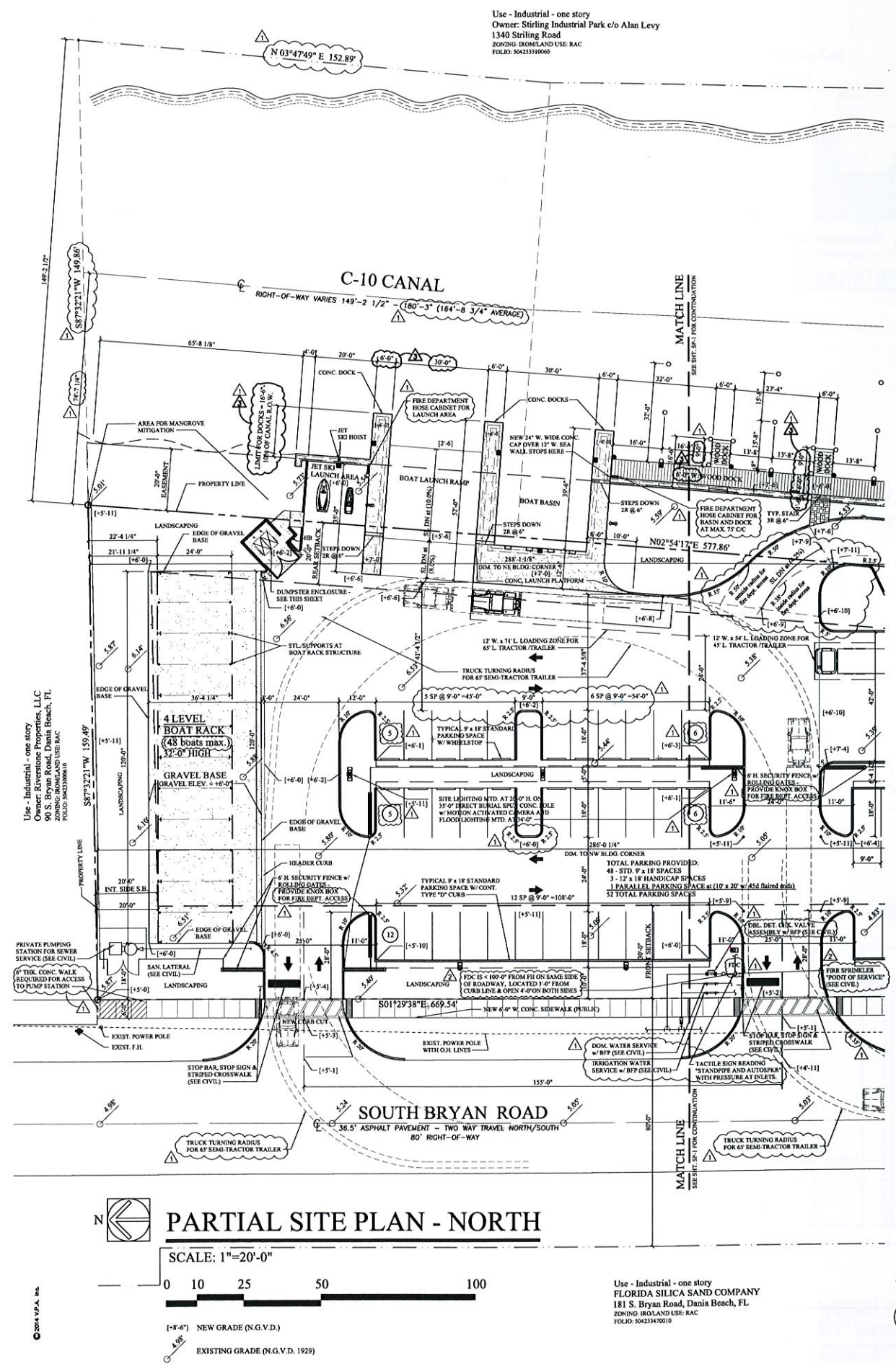


STIRLING MARINA & BOAT SALES
 150 SOUTH BRYAN ROAD
 DANIA BEACH, FLORIDA 33004

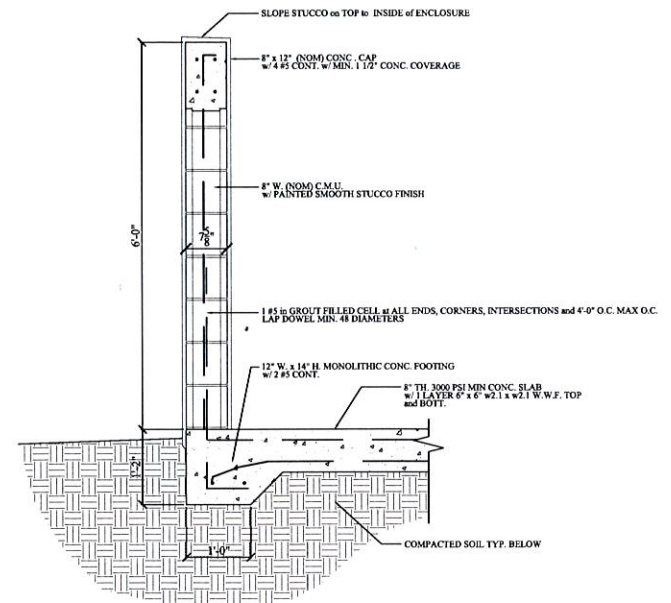
PROJECT USA, LLC
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 HOLLYWOOD, FLORIDA 33019

partial site plan - south

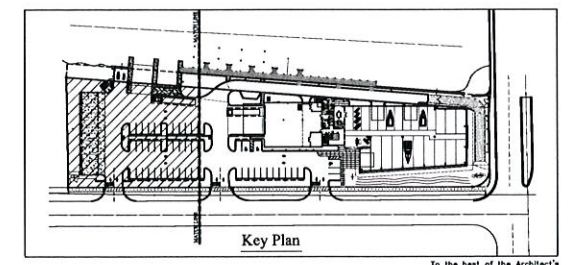
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 Location: 150 SOUTH BRYAN ROAD, DANIA BEACH, FLORIDA 33004
 For: PROJECT USA, LLC
 comm. no.: 14004
 drawn: 7/2/14
 date: DRC ISSUE
 sheet no.: SP-1
 revision:
 DRC REV: 8/6/14
 DRC REV: 8/28/14
 COUNCIL SUBMISSION: 9/8/14
 COUNCIL SUBMISSION REV: 10/8/14



DUMPSTER ENCLOSURE DETAILS
SCALE: 1/4" = 1'-0"



DUMPSTER ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"



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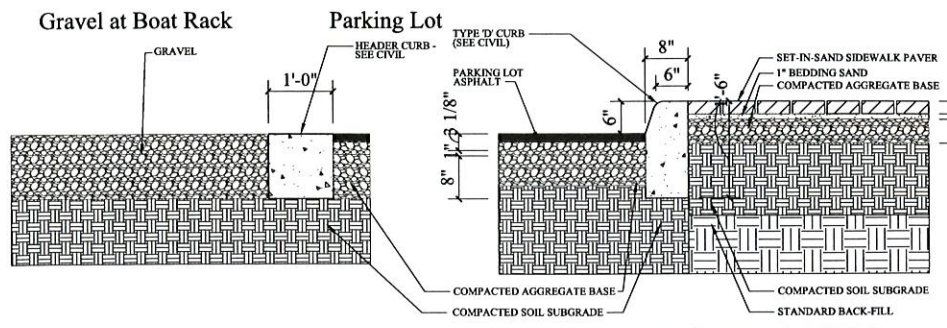
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STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004

Project: For:
Location: For:
comm. no. 14004
drawn 7/2/14
date DRC ISSUE
sheet no. SP-2
revision
DRC REV: 8/6/14
DRC REV: 8/28/14
COUNCIL SUBMISSION: 9/8/14
COUNCIL SUBMISSION REV: 10/8/14

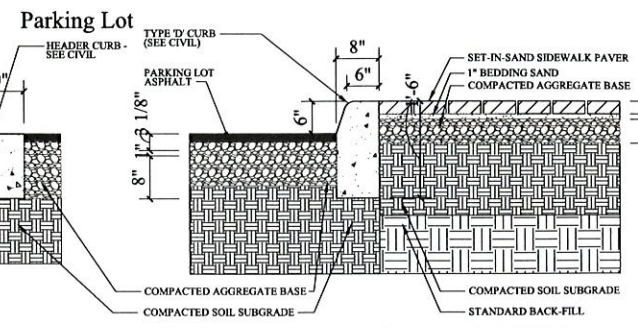
partial site plan - north



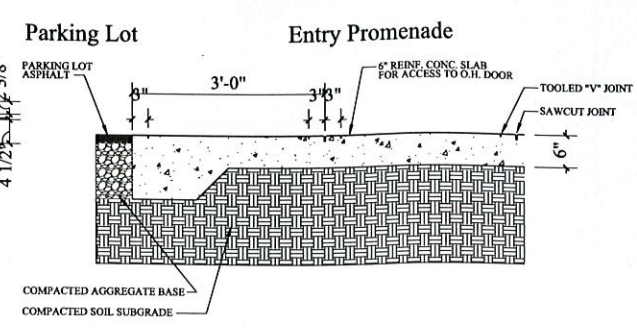
HEADER CURB AT GRAVEL

PAVER DETAILS

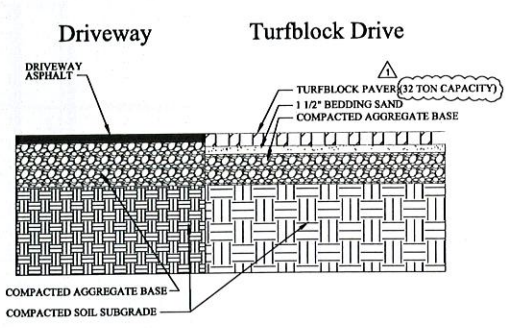
SCALE: 3/4"=1'-0"



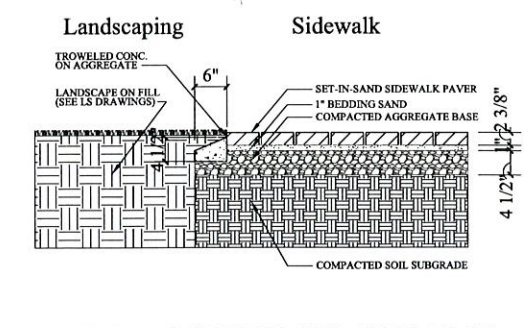
SIDEWALK @ TYPE 'D' CURB



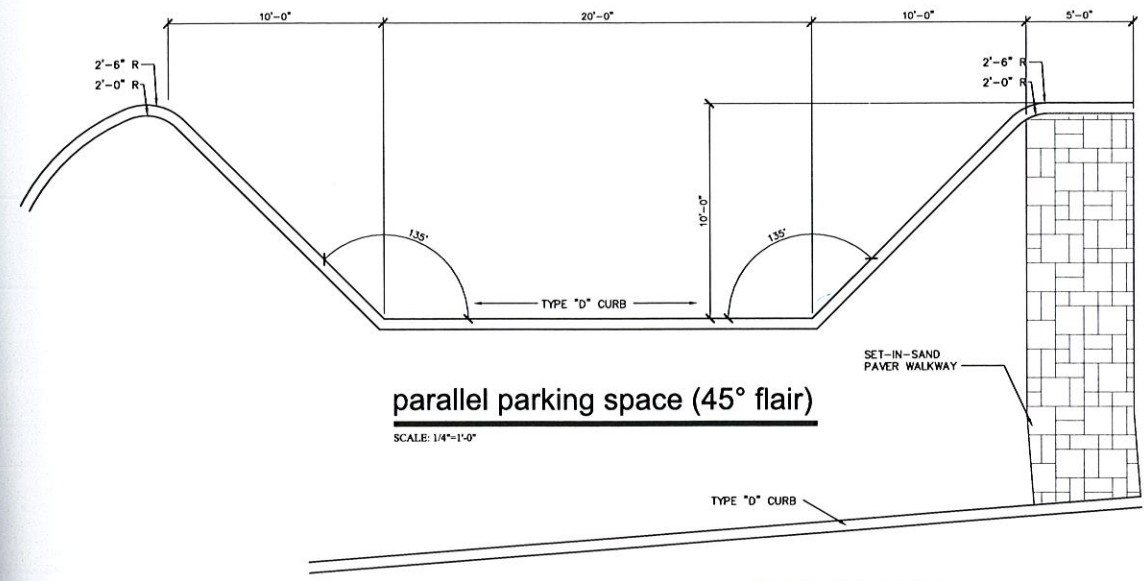
PARKING SPACE @ ENTRY PROMENADE



ASPHALT DRIVE @ TURFBLOCK



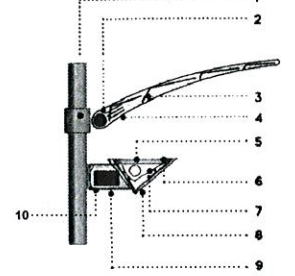
SIDEWALK @ SUBMERGED CURB EDGE



parallel parking space (45° flair)

SCALE: 1/4"=1'-0"

Luminis PL15P series PELICAN - HID

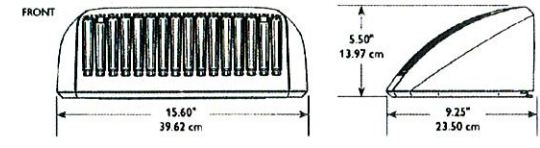


pole mounted site lighting fixture

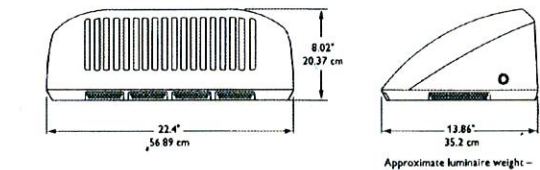
not to scale

- 1- Aluminum reflector sliding assembly.
- 2- Cast aluminum tilting and locking assembly.
- 3- Multi-facet textured white aluminum reflector panel assembly.
- 4- Cast aluminum curved reflector joiner arms.
- 5- Tempered clear glass lens.
- 6- Cast aluminum sealed removable glass frame, with perimeter memory retention embedded silicone gasket.
- 7- Cast aluminum luminaire housing with heat dissipation fins.
- 8- Specular aluminum reflector.
- 9- Isolated and sealed aluminum ballast housing.
- 10- 11 GA (gauge) galvanized pressure mounting plate.

PL15P



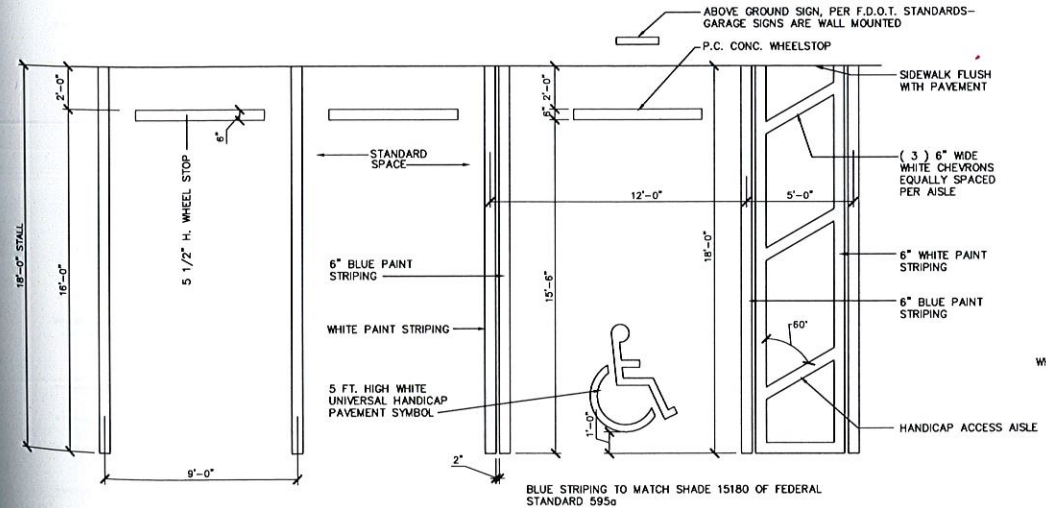
Gardco 121 Series



Gardco 161 Series

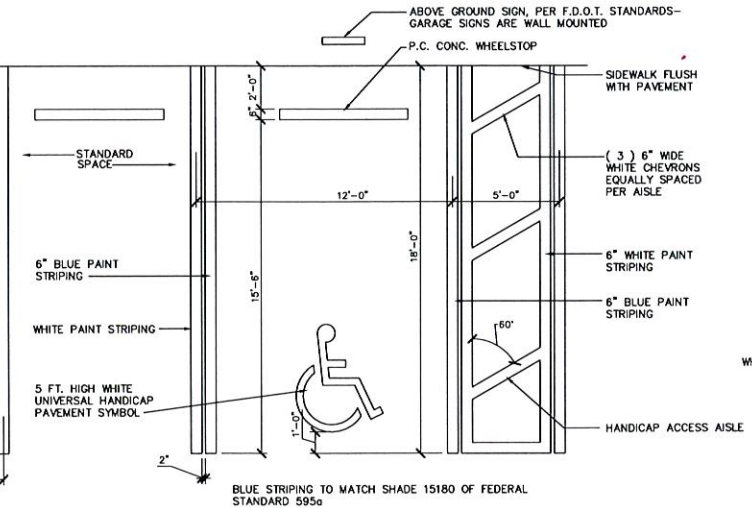
wall mounted site lighting fixtures

not to scale



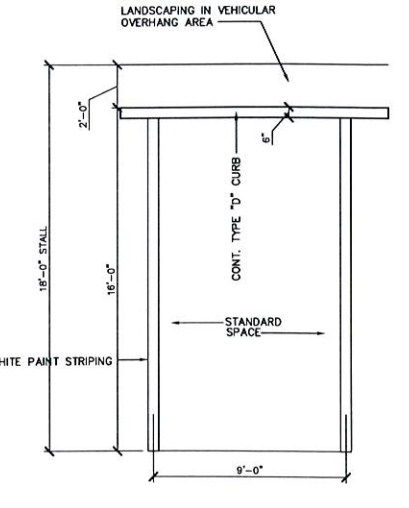
typical parking space with wheelstop

SCALE: 1/4"=1'-0"



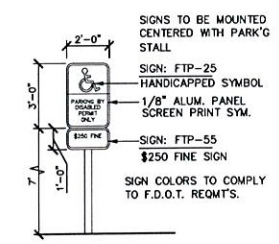
typical h/c parking space

SCALE: 1/4"=1'-0"



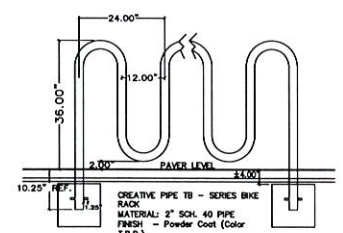
typical parking space w/ 24" landscaped o.h.

SCALE: 1/4"=1'-0"



h/c park'g sign detail

SCALE: 1/4"=1'-0"



bicycle parking detail

NOT TO SCALE

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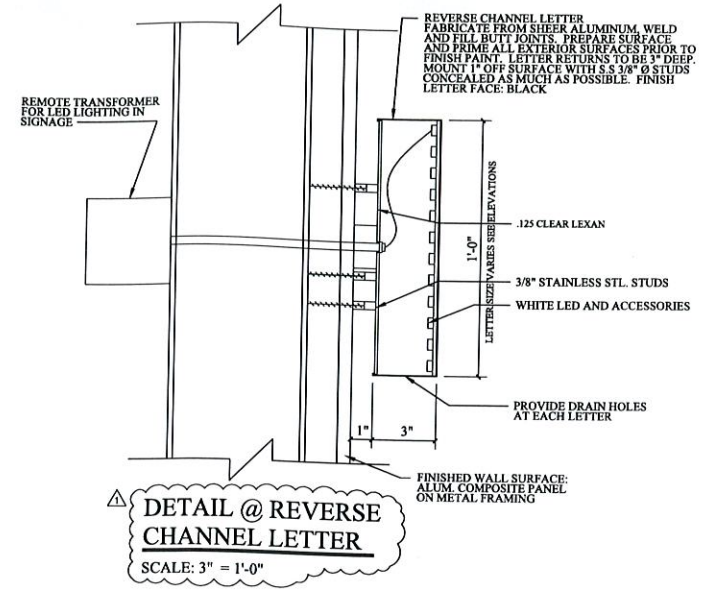
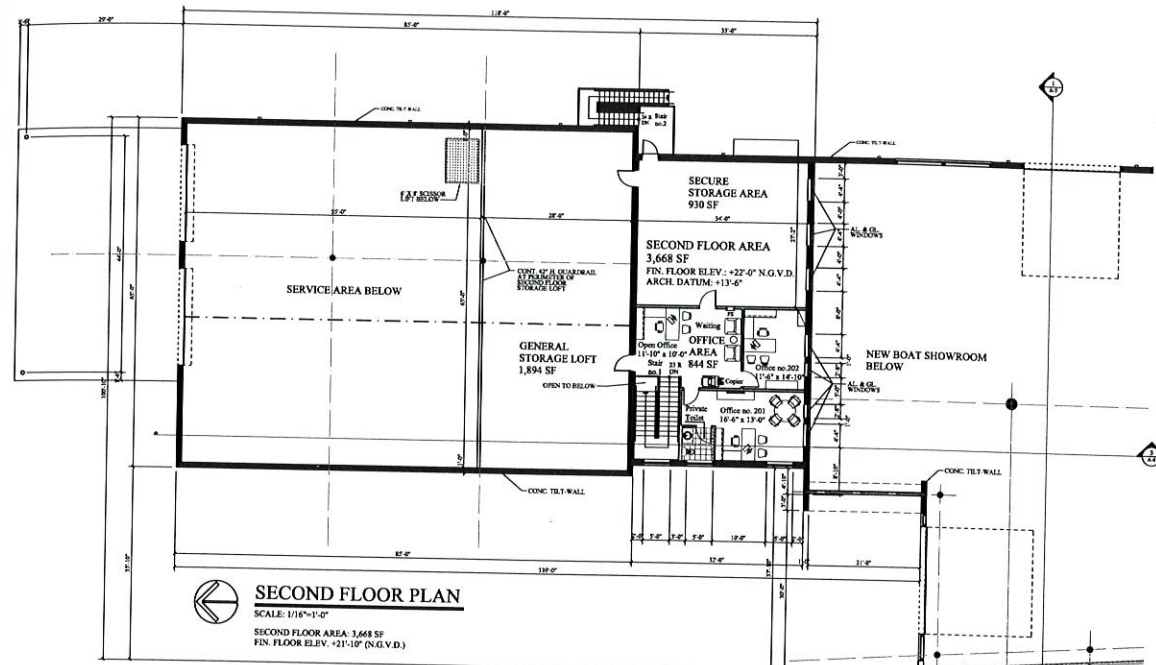


STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004

Project: 14004
Location: 7/2/14
For: PROJECT USA, LLC
3405 NORTH OCEAN DRIVE
HOLLYWOOD, FLORIDA 33019
comm. no. 14004
drawn
date 7/2/14
sheet no. DRC ISSUE
SP-3
revision
DRC REV: 8/6/14
COUNCIL SUBMISSION: 9/8/14
COUNCIL SUBMISSION REV: 10/8/14

site details

To the best of the Architect's knowledge, the plans and specifications comply with the applicable minimum building codes.



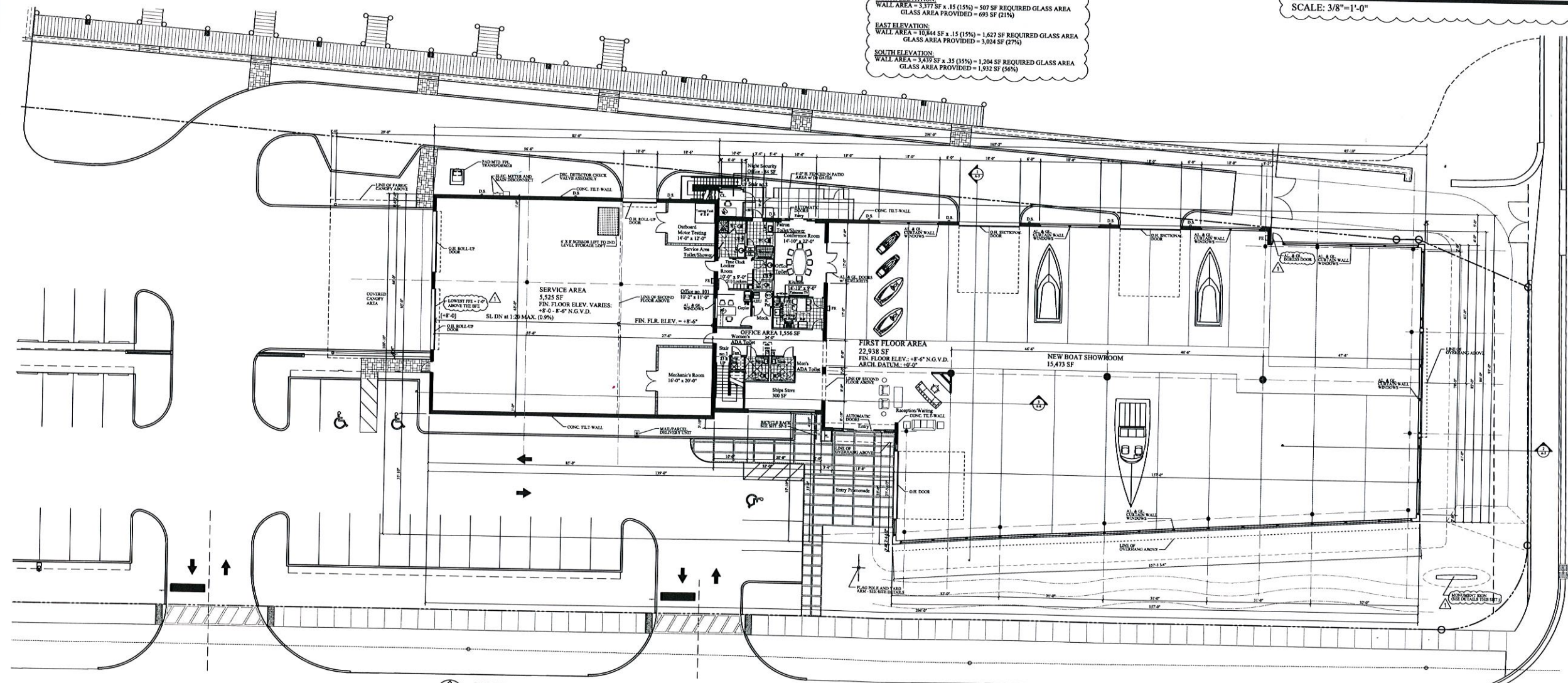
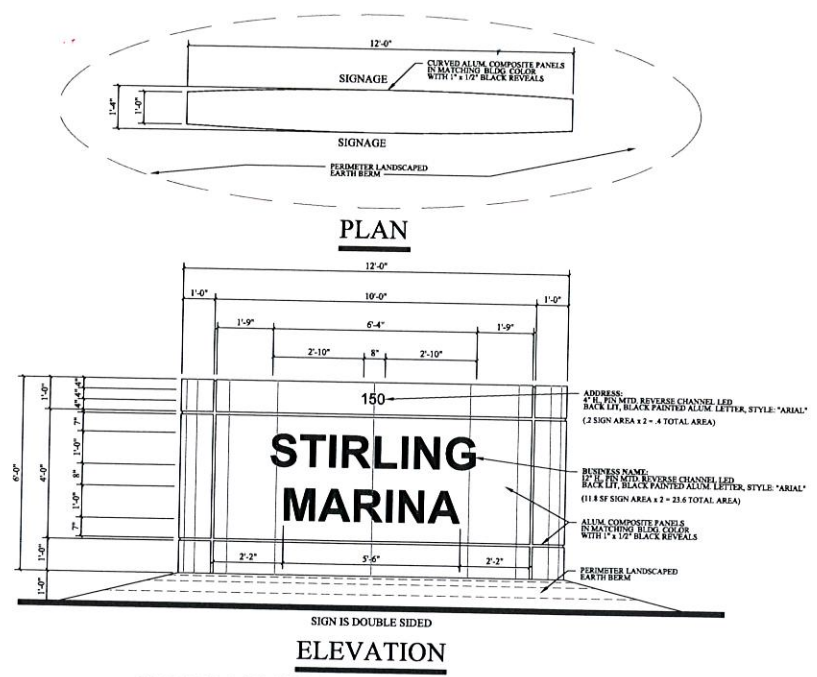
DESIGN DISTRICT STANDARDS:
(USE OF GLAZING ON BUILDING ELEVATIONS)

WEST ELEVATION:
WALL AREA = 10,411 SF x .35 (35%) = 3,644 SF REQUIRED GLASS AREA
GLASS AREA PROVIDED = 4,627 SF (44%)

NORTH ELEVATION:
WALL AREA = 3,377 SF x .15 (15%) = 507 SF REQUIRED GLASS AREA
GLASS AREA PROVIDED = 693 SF (21%)

EAST ELEVATION:
WALL AREA = 10,844 SF x .15 (15%) = 1,627 SF REQUIRED GLASS AREA
GLASS AREA PROVIDED = 3,024 SF (27%)

SOUTH ELEVATION:
WALL AREA = 3,339 SF x .35 (35%) = 1,204 SF REQUIRED GLASS AREA
GLASS AREA PROVIDED = 1,932 SF (58%)



first and second floor plans

STIRLING MARINA & BOAT SALES

Project: 150 SOUTH BRYAN ROAD
Location: DANIA BEACH, FLORIDA 33004
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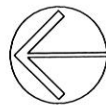
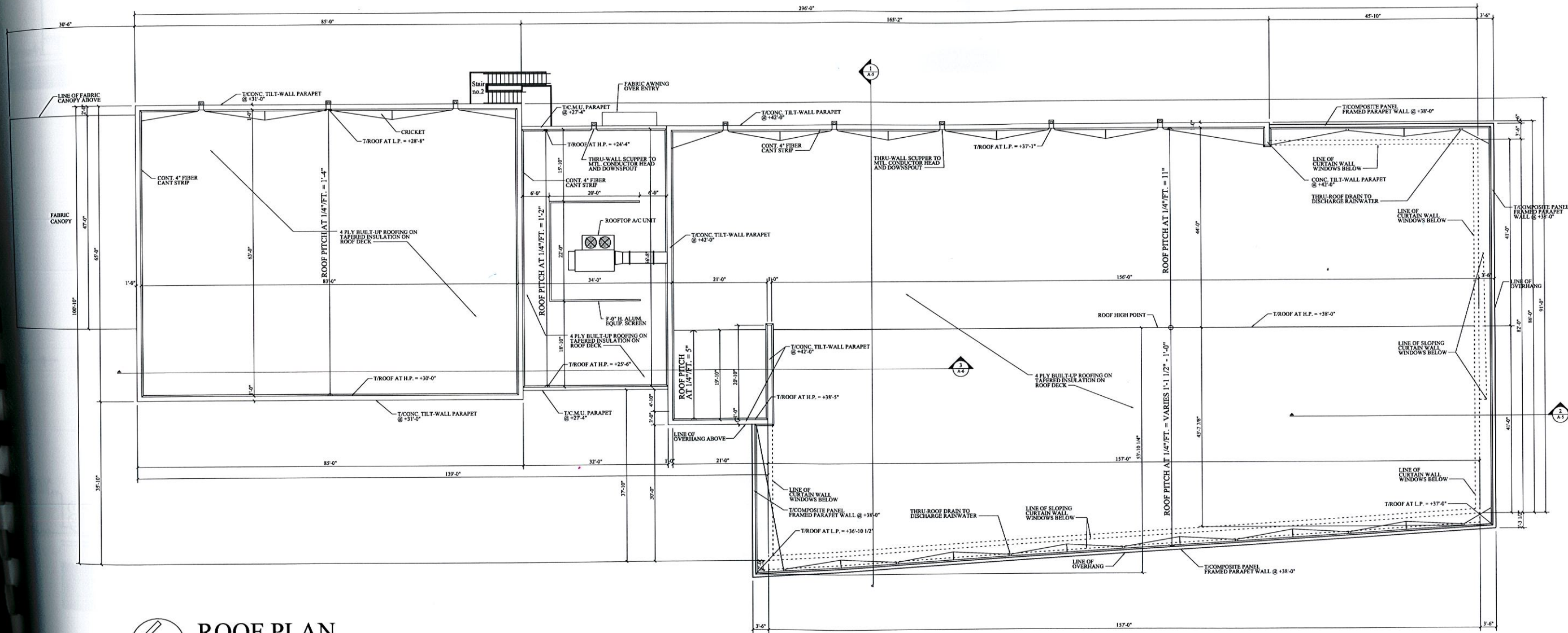
A-1

revision
DRC REV: 8/6/14
COUNCIL SUBMISSION: 9/8/14
COUNCIL SUBMISSION REV: 10/9/14

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ROOF PLAN

SCALE: 3/32"=1'-0"

roof plan

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STIRLING MARINA & BOAT SALES

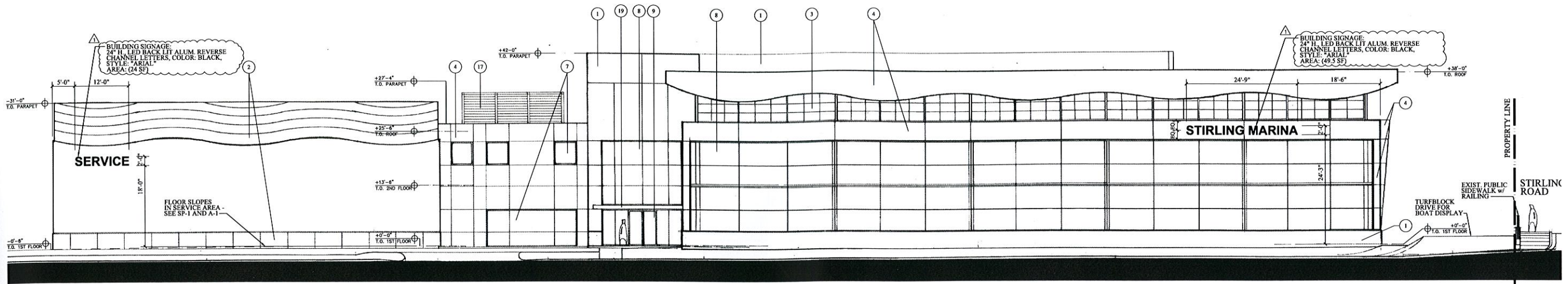
150 SOUTH BRYAN ROAD
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Project: 14004
 Location: 7/2/14
 For: DRC ISSUE
 sheet no. A-2

revision
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 COUNCIL SUBMISSION REV: 10/8/14

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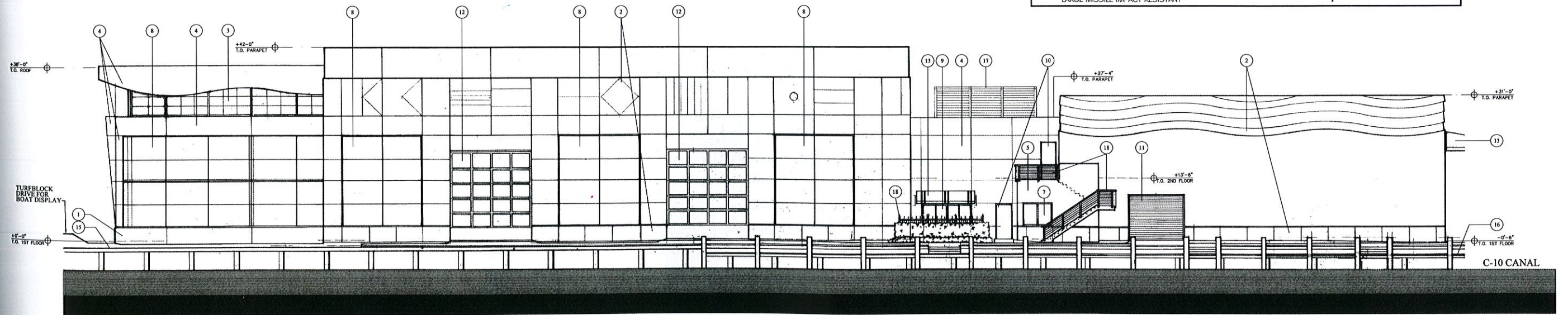


WEST ELEVATION

SCALE = 3/32" = 1'-0"

FINISH LEGEND

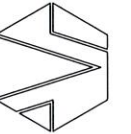
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2. PATTERNED TILT WALL - PAINTED	11. ROLL-UP GARAGE DOOR
3. KALWALL TRANSLUCENT PANELS	12. SECTIONAL GARAGE DOOR
4. ALUMINUM COMPOSITE PANELS	13. FABRIC AWNING ON ALUM. PIPE FRAMING
5. 5/8" STUCCO ON C.M.U.	14. ALUMINUM LOUVER W/ POWDER COAT FINISH
6. STUCCO REVEAL - 1" WIDE x 5/8" DEEP	15. CONC. SEAWALL
7. FIXED GLASS IN ALUMINUM WINDOW SYSTEM, LARGE MISSILE IMPACT RESISTANT	16. WOOD DOCK WITH PILING SUPPORTS
8. FIXED GLASS IN ALUMINUM CURTAINWALL SYSTEM, LARGE MISSILE IMPACT RESISTANT	17. METAL EQUIPMENT SCREEN-POWDER COATED
9. OPERABLE WINDOW/DOOR SYSTEM, LARGE MISSILE IMPACT RESISTANT	18. ALUMINUM RAILING - POWDER COATED
	19. ALUMINUM CANOPY



EAST ELEVATION

SCALE = 3/32" = 1'-0"

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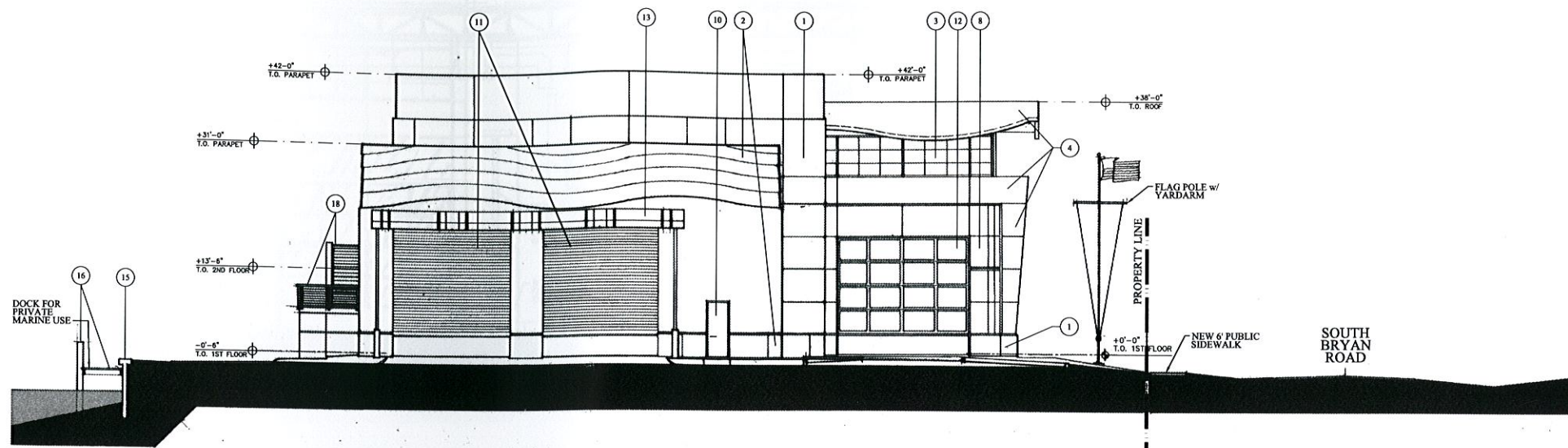
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A-3
 revision _____
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elevations

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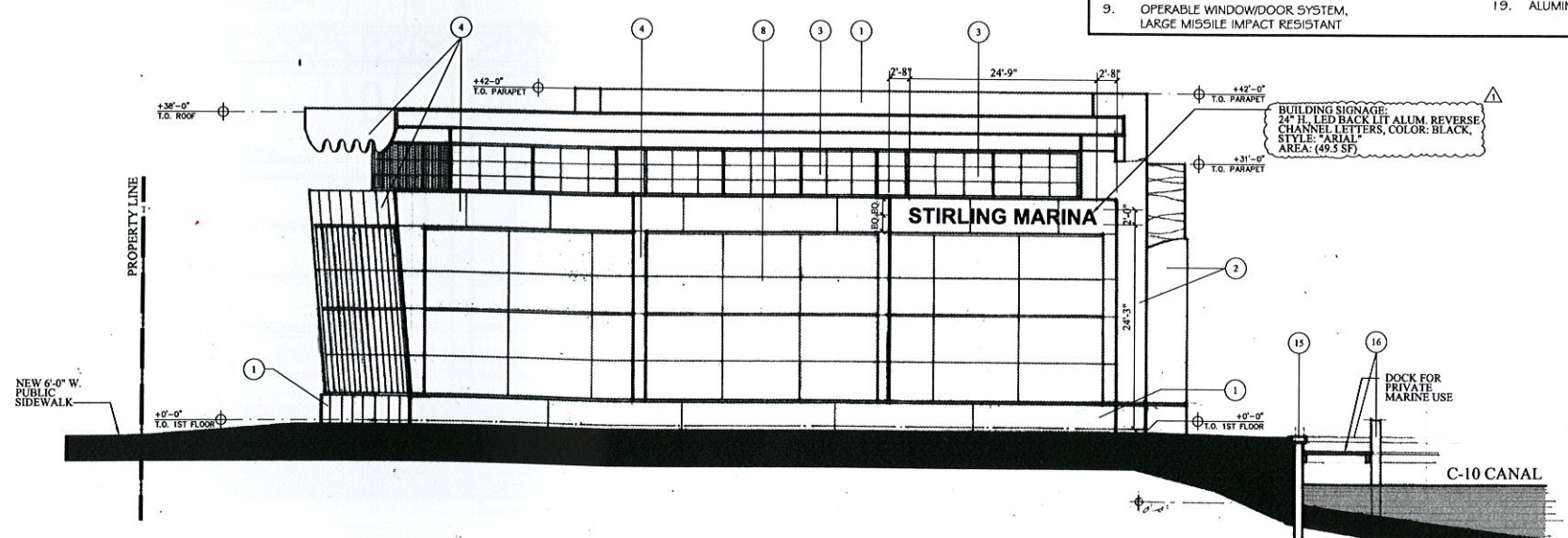


NORTH ELEVATION

SCALE = 3/32" = 1'-0"

FINISH LEGEND

1. CONCRETE TILT WALL - PAINTED	10. HOLLOW METAL DOOR
2. PATTERNED TILT WALL - PAINTED	11. ROLL-UP GARAGE DOOR
3. KAWALL TRANSLUCENT PANELS	12. SECTIONAL GARAGE DOOR
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	19. ALUMINUM CANOPY



SOUTH ELEVATION

SCALE = 3/32" = 1'-0"

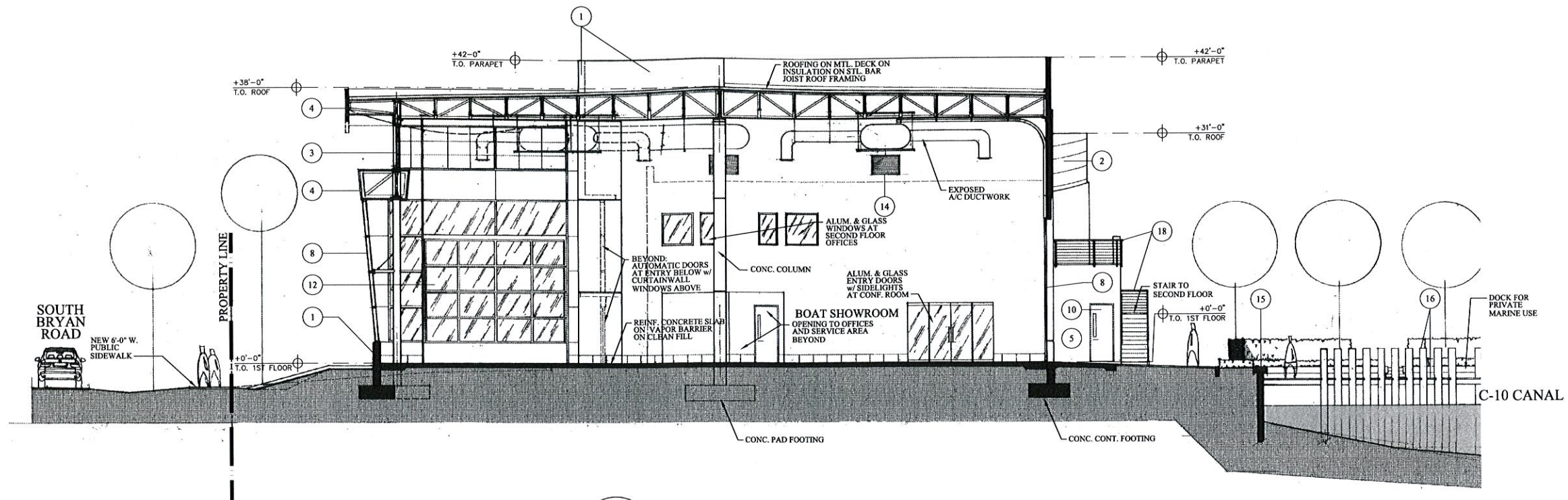
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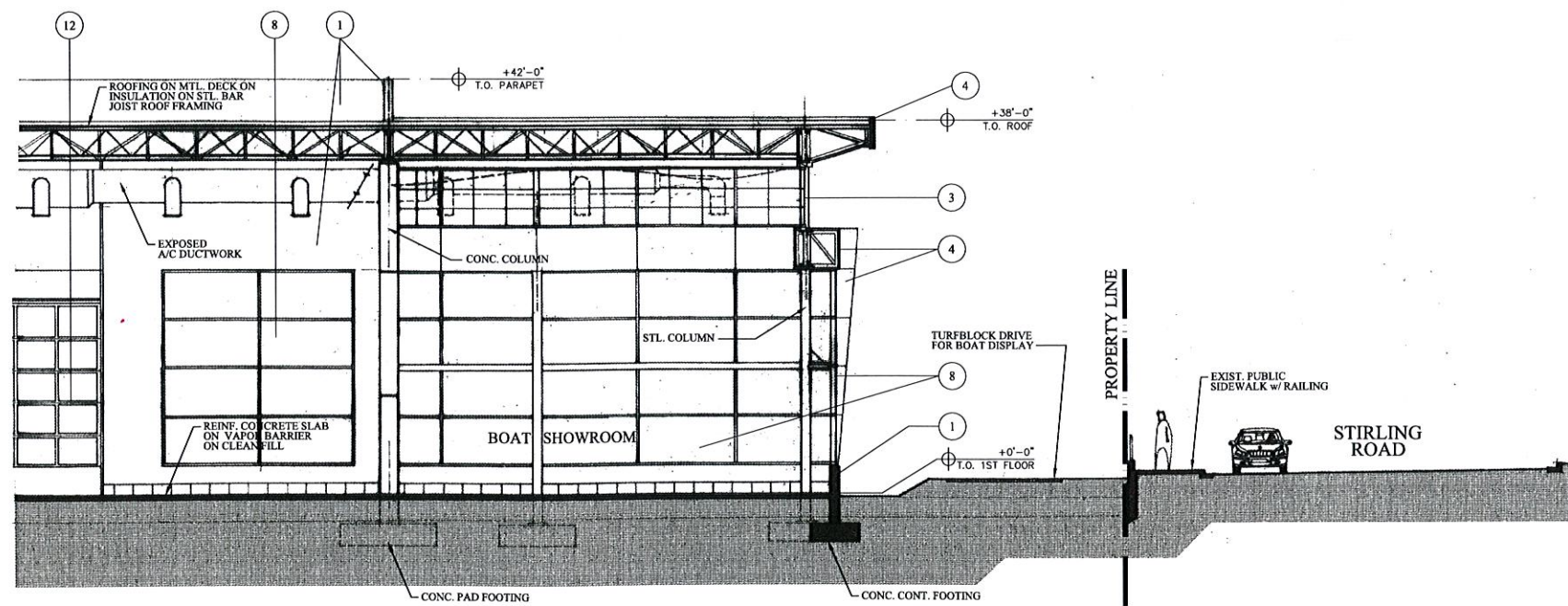
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 For: DRC ISSUE
 sheet no. **A-4**
 revision _____
 DRC REV: 8/6/14
 COUNCIL SUBMISSION: 9/8/14
 COUNCIL SUBMISSION REV: 10/9/14

elevations

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1 CROSS BUILDING SECTION
 A-5 SCALE : 1/8" = 1'-0"



2 PARTIAL SECTION- SHOWROOM SOUTH WALL
 A-5 SCALE : 1/8" = 1'-0"

FINISH LEGEND	
1. CONCRETE TILT WALL - PAINTED	10. HOLLOW METAL DOOR
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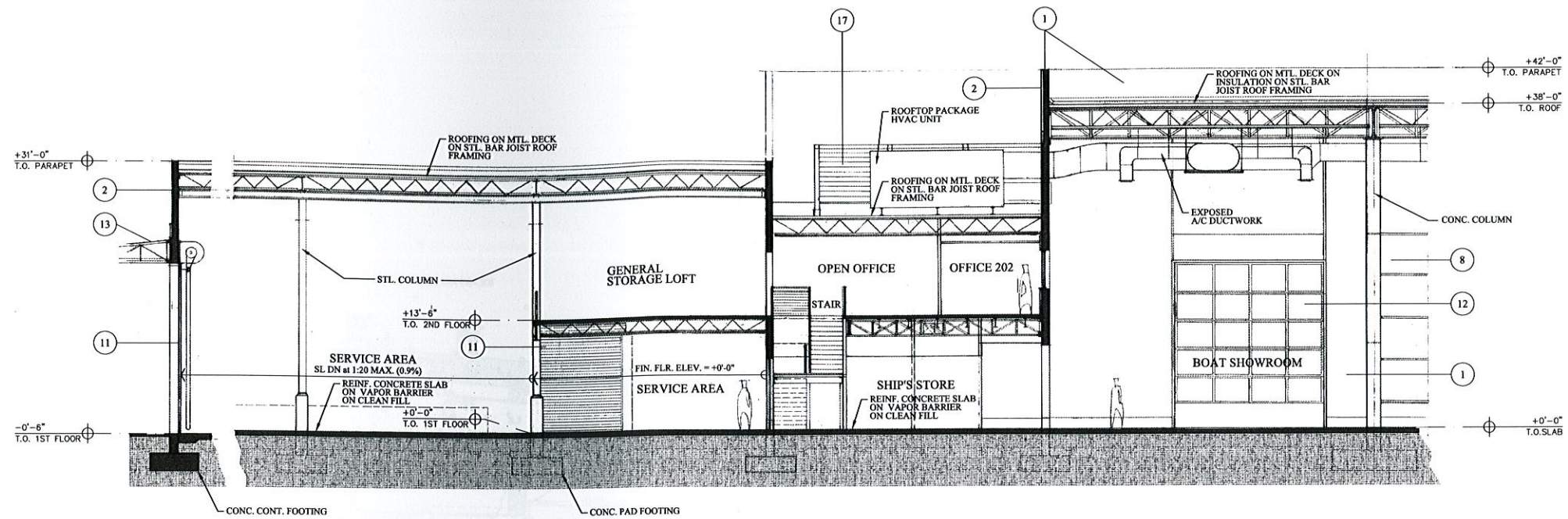


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building sections

comm. no.	14004
drawn	7/2/14
date	DRC ISSUE
sheet no.	A-5
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DRC REV:	8/6/14
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FINISH LEGEND

- | | |
|---|---|
| 1. CONCRETE TILT WALL - PAINTED | 10. HOLLOW METAL DOOR |
| 2. PATTERNED TILT WALL - PAINTED | 11. ROLL-UP GARAGE DOOR |
| 3. KALWALL TRANSLUCENT PANELS | 12. SECTIONAL GARAGE DOOR |
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| 5. 5/8" STUCCO ON C.M.U. | 14. ALUMINUM LOUVER W/ POWDER COAT FINISH |
| 6. STUCCO REVEAL - 1" WIDE x 5/8" DEEP | 15. CONC. SEAWALL |
| 7. FIXED GLASS IN ALUMINUM WINDOW SYSTEM, LARGE MISSILE IMPACT RESISTANT | 16. WOOD DOCK WITH PILING SUPPORTS |
| 8. FIXED GLASS IN ALUMINUM CURTAINWALL SYSTEM, LARGE MISSILE IMPACT RESISTANT | 17. METAL EQUIPMENT SCREEN-POWDER COATED |
| 9. OPERABLE WINDOW/DOOR SYSTEM, LARGE MISSILE IMPACT RESISTANT | 18. ALUMINUM RAILING - POWDER COATED |
| | 19. ALUMINUM CANOPY |

3 PARTIAL LONGITUDINAL BUILDING SECTION

A-6 SCALE : 1/8" = 1'-0"

building section

comm. no. 14004
 drawn
 date 7/2/14
 sheet no. DRC ISSUE
A-6
 revision
 DRC REV: 8/8/14
 COUNCIL SUBMISSION: 9/8/14
 COUNCIL SUBMISSION REV: 10/9/14

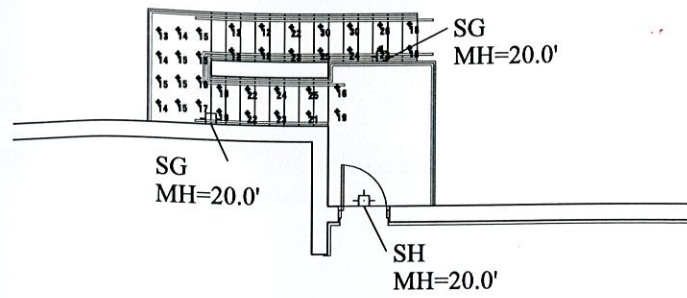
To the best of the Architect's knowledge, the plans and specifications comply with the applicable minimum building codes.

STIRLING MARINA & BOAT SALES

Project: 150 SOUTH BRYAN ROAD
 Location: DANIA BEACH, FLORIDA 33004
 For: PROJECT USA, LLC
 3405 NORTH OCEAN DRIVE
 HOLLYWOOD, FLORIDA 33019



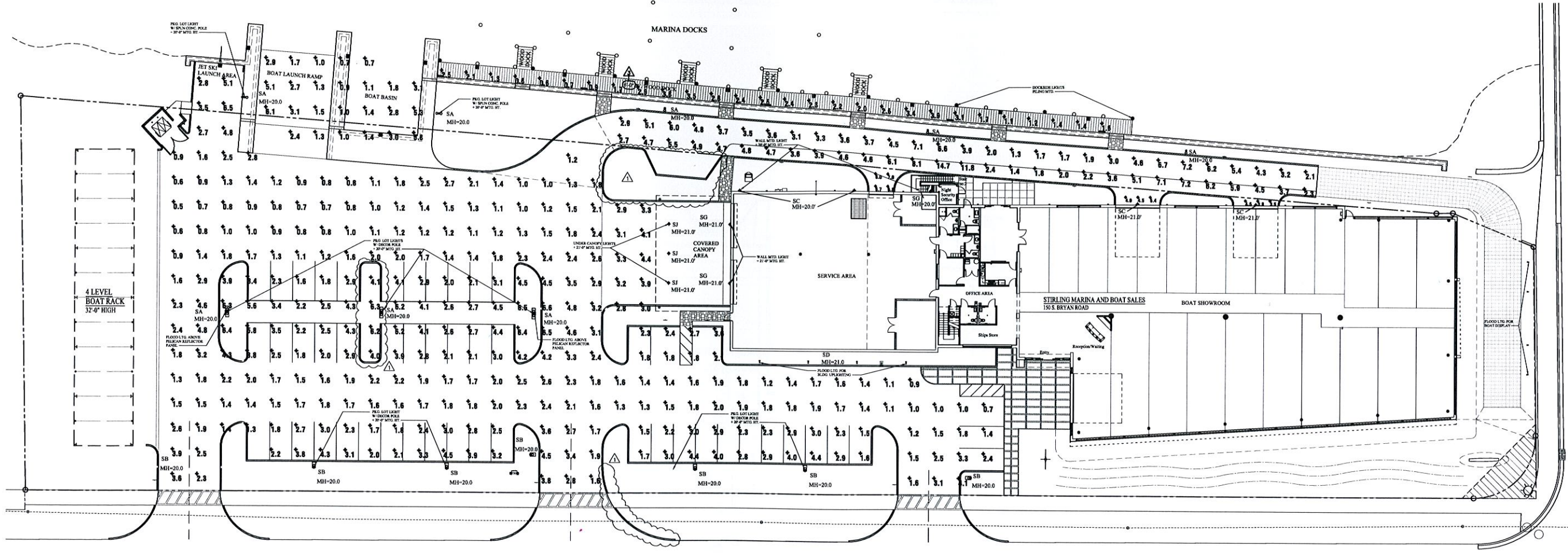
Vander Ploeg and Associates, Inc.
 architects and planners
 155 east boca raton road
 boca raton, florida 33432
 (561) 368-1403 PH
 (561) 750-8051 FAX



STAIR LIGHTING PLAN
SCALE: 3/16"=1'-0"

Luminaire Schedule									
Symbol	Qty	Label	Description	Luminaire/Lamp	LLS	LLD	LLF	Len. Watts	Total Watts
⊕	2	SA	PHILIPS BARCO 121-RT-70LA-WW	N.A.	0.900	0.900	0.810	72	144
⊕	1	SH	PHILIPS BARCO 121-G-70LA-WW	N.A.	0.900	0.900	0.810	72	72

Calculation Summary						
Label	Avg	Max	Min	Avg/Wft	Max/Wft	
STAIR	18.78	38.8	12.8	1.87	2.50	



SITE LIGHTING PLAN



1. SEE SHEET SP-3 FOR LIGHT FIXTURE DETAILS

Luminaire Schedule										
Symbol	Qty	Label	Description	Luminaire/Lamp	LLS	LLD	LLF	Len. Watts	Total Watts	
⊕	8	SA	LUMINEE PL15-F150MT	POLE MOUNT: 20' - 0" AFF	22000	0.850	0.900	0.780	180	1800
⊕	18	SB	LUMINEE PL15-F150MT	POLE MOUNT: 20' - 0" AFF	22000	0.850	0.900	0.780	180	1800
⊕	4	SC	PHILIPS BARCO 181-CW1-4-170LA-0953-WW	WALL MOUNT	N.A.	0.900	0.900	0.810	150	612
⊕	1	SB	PHILIPS BARCO 121-G-70LA-WW	WALL MOUNT	N.A.	0.900	0.900	0.810	72	72
⊕	4	SB	PHILIPS BARCO 121-RT-70LA-WW	WALL MOUNT	N.A.	0.900	0.900	0.810	72	288
⊕	1	SH	PHILIPS BARCO 121-RT-70LA-WW	WALL MOUNT	N.A.	0.900	0.900	0.810	72	72
⊕	3	SJ	PHILIPS BARCO 83-18-2-100LA-2518-WW	STEM MOUNT: 21' - 0" AFF	N.A.	0.900	0.900	0.810	100	318

Calculation Summary						
Label	Avg	Max	Min	Avg/Wft	Max/Wft	
BOAT TAMP AND JET Ski_Plane	2.30	8.1	0.7	0.27	0.71	
DOCK	2.10	2.0	0.6	2.50	0.50	
PARKING LOT	2.41	8.8	0.5	4.82	13.28	
EAST DRIVE	4.48	14.7	1.5	9.45	11.81	

To the best of the Architect's knowledge, the plans and specifications comply with the applicable minimum building codes.

Vander Ploeg and Associates, Inc.
architects and planners
155 east boca raton road
boca raton, florida 33432



STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004

Project: STIRLING MARINA & BOAT SALES
Location: DANIA BEACH, FLORIDA 33004

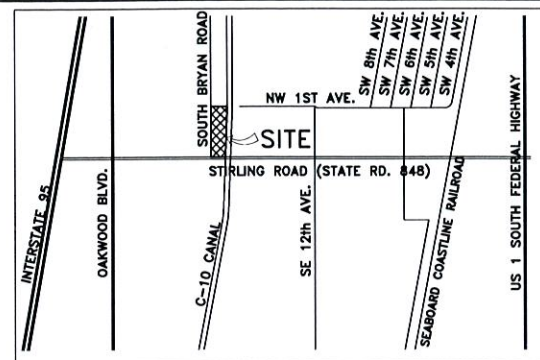
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drawn 7/2/14
date 7/2/14
sheet no. DRC ISSUE

SLP1
revision
DRC REV: 8/6/14
COUNCIL SUBMISSION: 9/8/14
COUNCIL SUBMISSION REV: 10/9/14

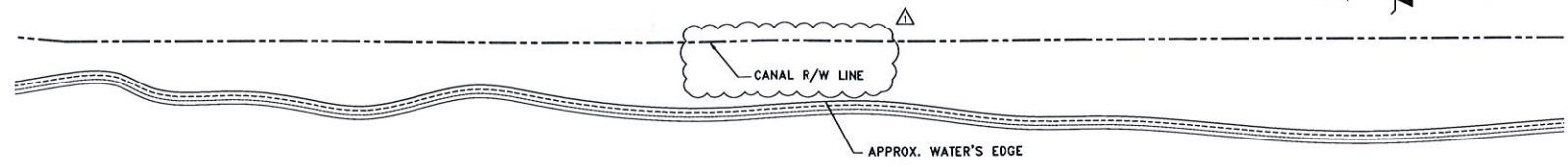
site lighting plan

(561) 368-1403 PH
(561) 750-8051 FAX

PROJECT USA, LLC
3405 NORTH OCEAN DRIVE
HOLLYWOOD, FLORIDA 33019



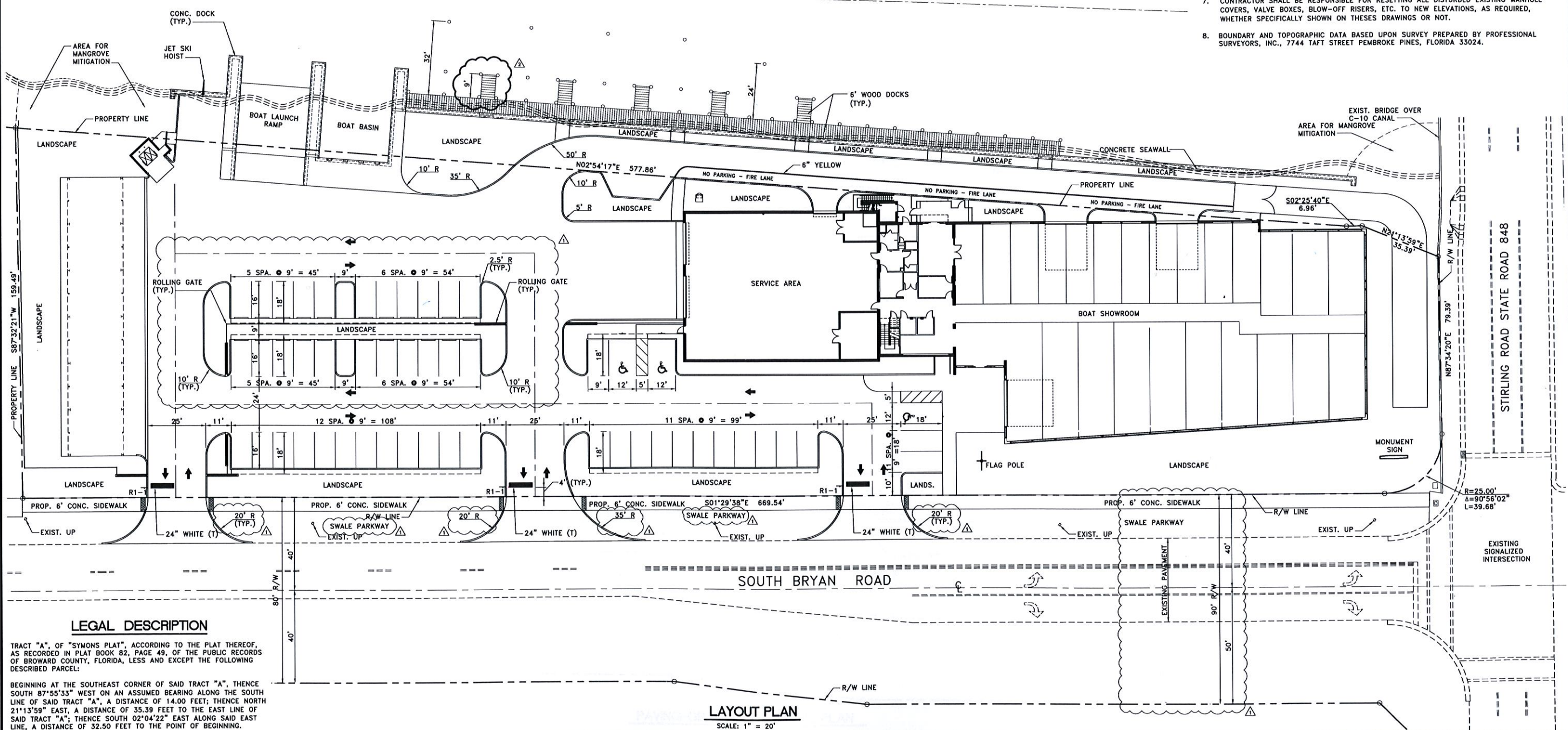
LOCATION MAP
N.T.S.



GENERAL NOTES

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.).
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY PROFESSIONAL SURVEYORS, INC., 7744 TAFT STREET PEMBROKE PINES, FLORIDA 33024.

S.F.W.M.D. C-10 CANAL



LEGAL DESCRIPTION

TRACT "A", OF "SYMONS PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT "A", THENCE SOUTH 87°55'33" WEST ON AN ASSUMED BEARING ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 14.00 FEET; THENCE NORTH 21°13'59" EAST, A DISTANCE OF 35.39 FEET TO THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 02°04'22" EAST ALONG SAID EAST LINE, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

LAYOUT PLAN
SCALE: 1" = 20'

DRAWN BY: P.J.F.
CHECKED BY: N.H.O.
APPROVED BY: R.B.B.
DATE: 8-20-14
PROJECT NO.: 14037

STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004



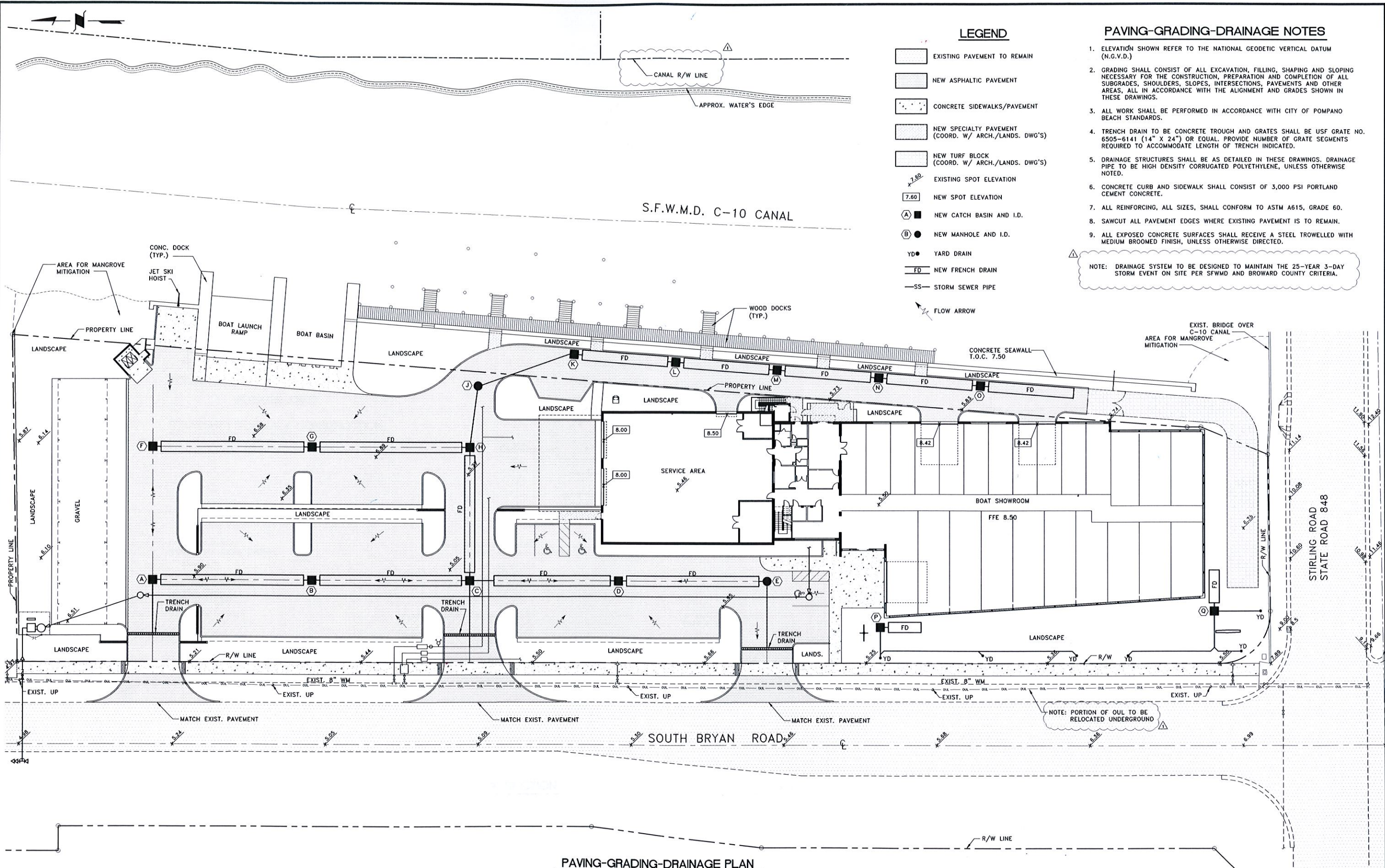
CONSULTING ENGINEERING & SCIENCE, INC.
10700 N. KENDALL DRIVE SUITE 400
MIAMI, FLORIDA 33176 (305) 378-5555
EB-0003266

FOR THE FIRM
HOWARD R. BOCHNICH
PE-9833

STIRLING MARINA & BOAT SALES
LAYOUT PLAN

NO.	DATE	REVISION
10/08/14	DRG REV.	
8/08/14	DRG REV.	

SCALE: AS SHOWN
C-1
SH. NO. OF



LEGEND

- EXISTING PAVEMENT TO REMAIN
- NEW ASPHALTIC PAVEMENT
- CONCRETE SIDEWALKS/PAVEMENT
- NEW SPECIALTY PAVEMENT (COORD. W/ ARCH./LANDS. DWG'S)
- NEW TURF BLOCK (COORD. W/ ARCH./LANDS. DWG'S)
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW CATCH BASIN AND I.D.
- NEW MANHOLE AND I.D.
- YARD DRAIN
- NEW FRENCH DRAIN
- STORM SEWER PIPE
- FLOW ARROW

PAVING-GRADING-DRAINAGE NOTES

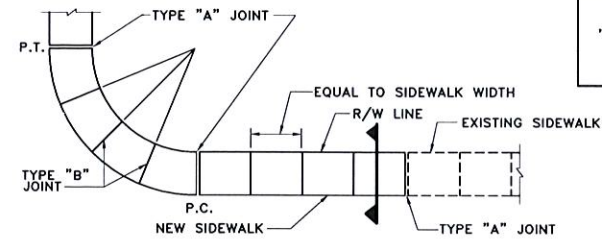
1. ELEVATION SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.)
 2. GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES, SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF POMPANO BEACH STANDARDS.
 4. TRENCH DRAIN TO BE CONCRETE TROUGH AND GRATES SHALL BE USF GRATE NO. 6505-6141 (14" X 24") OR EQUAL. PROVIDE NUMBER OF GRATE SEGMENTS REQUIRED TO ACCOMMODATE LENGTH OF TRENCH INDICATED.
 5. DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE HIGH DENSITY CORRUGATED POLYETHYLENE, UNLESS OTHERWISE NOTED.
 6. CONCRETE CURB AND SIDEWALK SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE.
 7. ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
 8. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
 9. ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A STEEL TROWELLED WITH MEDIUM BROOMED FINISH, UNLESS OTHERWISE DIRECTED.
- NOTE: DRAINAGE SYSTEM TO BE DESIGNED TO MAINTAIN THE 25-YEAR 3-DAY STORM EVENT ON SITE PER SFWMD AND BROWARD COUNTY CRITERIA.

PAVING-GRADING-DRAINAGE PLAN
SCALE: 1" = 20'

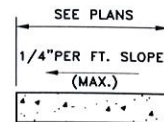
DRAWN BY: P.J.F. CHECKED BY: N.H.O. APPROVED BY: R.B.B. DATE: 6-20-14 PROJECT NO.: 14037	STIRLING MARINA & BOAT SALES 150 SOUTH BRYAN ROAD DANIA BEACH, FLORIDA 33004	CONSULTING ENGINEERING & SCIENCE, INC. 10700 N. KENDALL DRIVE MIAMI, FLORIDA 33176 SUITE 400 (305) 378-5555 EB-0003266	STIRLING MARINA & BOAT SALES PAVING-GRADING-DRAINAGE PLAN	SCALE: AS SHOWN C-2 SH. NO. OF												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">REV.</th> <th style="width: 10%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				NO.	DATE	REV.	DESCRIPTION									NO. DATE REVISION
NO.	DATE	REV.	DESCRIPTION													

TABLE OF SIDEWALK THICKNESS 'T'	
LOCATION	"T"
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

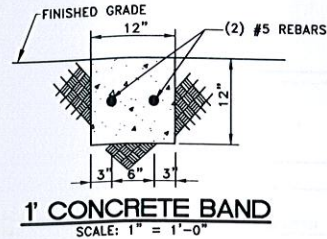
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES, ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK



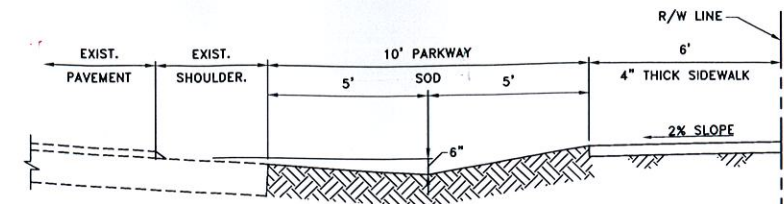
SIDEWALK PLAN



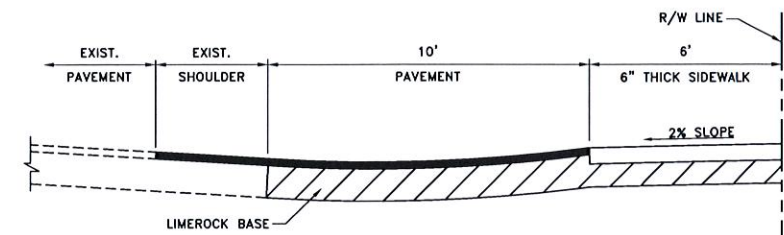
SECTION



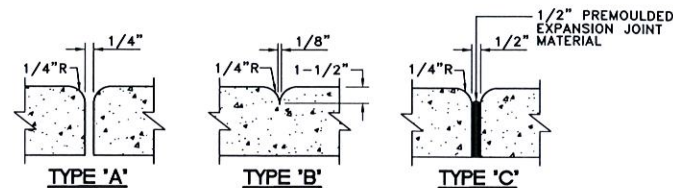
1' CONCRETE BAND
SCALE: 1" = 1'-0"



TYPICAL SECTION - S. BRYAN RD. PARKWAY
(LOOKING NORTH) N.T.S.

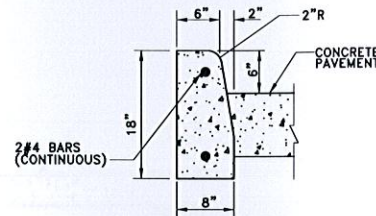


TYPICAL DRIVEWAY SECTION
(LOOKING NORTH) N.T.S.

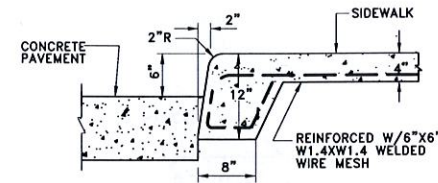


SIDEWALK JOINTS

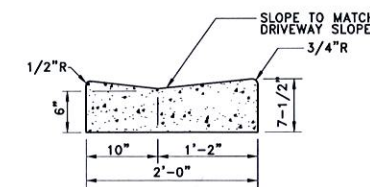
STANDARD SIDEWALK CONSTRUCTION
N.T.S.



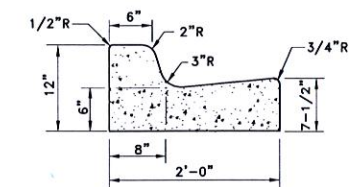
6" CURB
(ON-SITE) SCALE: 1" = 1'-0"



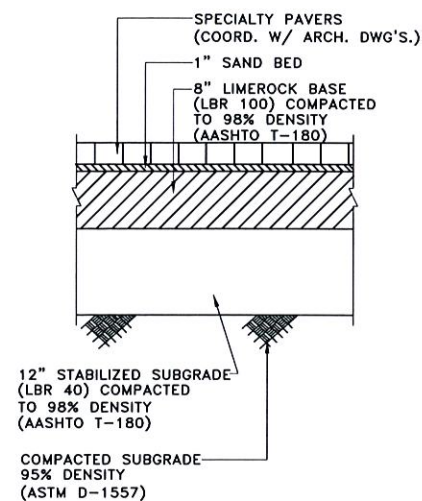
TURNDOWN SIDEWALK DETAIL
SCALE: 1" = 1'-0"



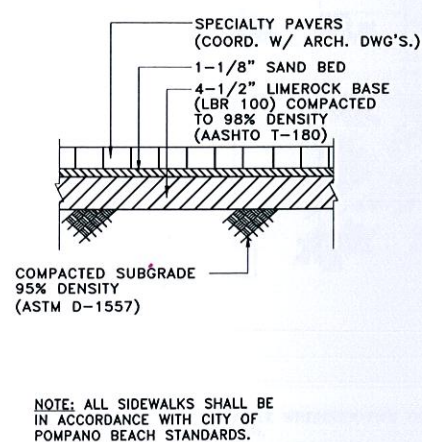
DROP CURB IN PUBLIC R/W
SCALE: 1" = 1'-0"



TYPE 'F' CURB AND GUTTER IN PUBLIC R/W
SCALE: 1" = 1'-0"

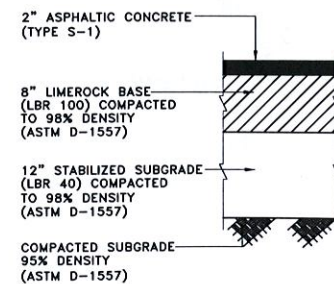


SPECIALTY PAVEMENT SECTION
SCALE: 1" = 1'-0"

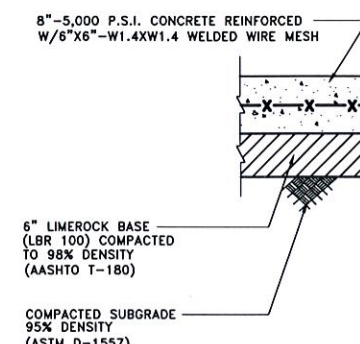


PAVER SIDEWALK SECTION
SCALE: 1" = 1'-0"

NOTE: ALL SIDEWALKS SHALL BE IN ACCORDANCE WITH CITY OF POMPANO BEACH STANDARDS.



ASPHALTIC PAVEMENT
SCALE: 1" = 1'-0"



CONCRETE PAVEMENT
(ON-SITE) SCALE: 1" = 1'-0"

DRAWN BY: P.J.F.
CHECKED BY: N.H.O.
APPROVED BY: R.B.B.
DATE: 8-20-14
PROJECT NO.: 14037

STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004

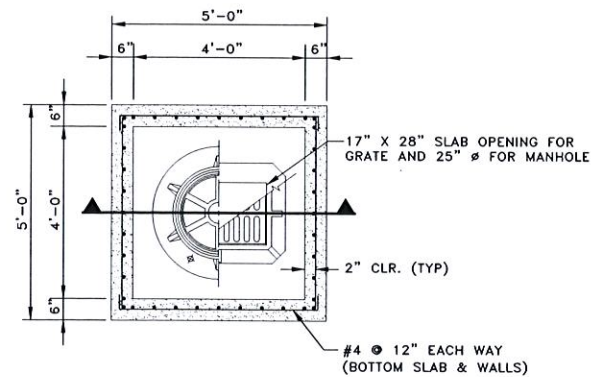


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10700 N. KENDALL DRIVE
MIAMI, FLORIDA 33176
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(305) 378-5555
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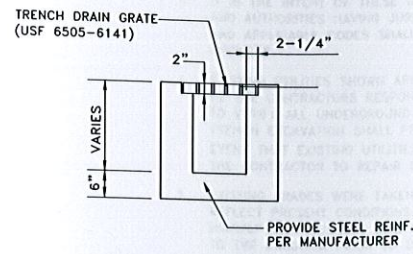
FOR THE FIRM
RICHARD B. BOCHNOWSKI
PE-19638

STIRLING MARINA & BOAT SALES
SITE DETAILS

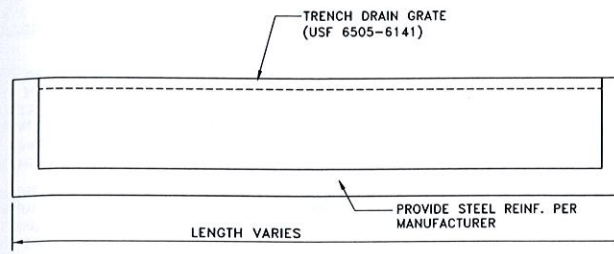
NO.		DATE	REVISION	SCALE	SH. NO.	OF
1		8/06/14	DRG REV.		C-3	



PLAN



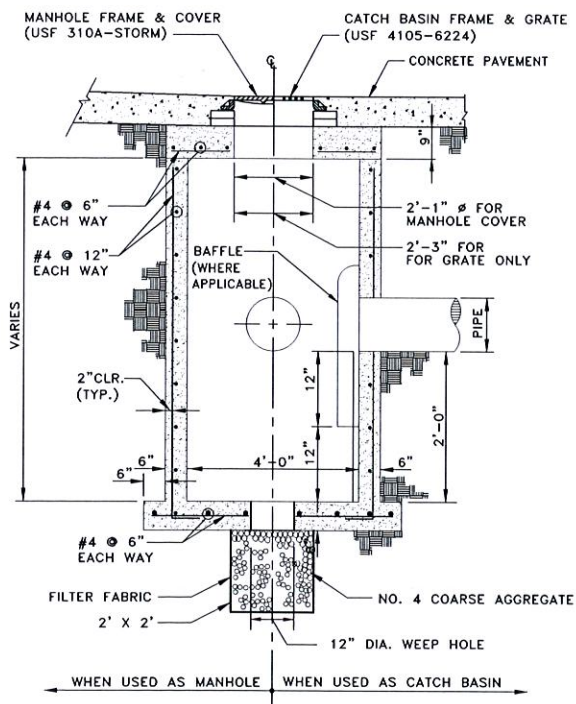
SECTION



ELEVATION

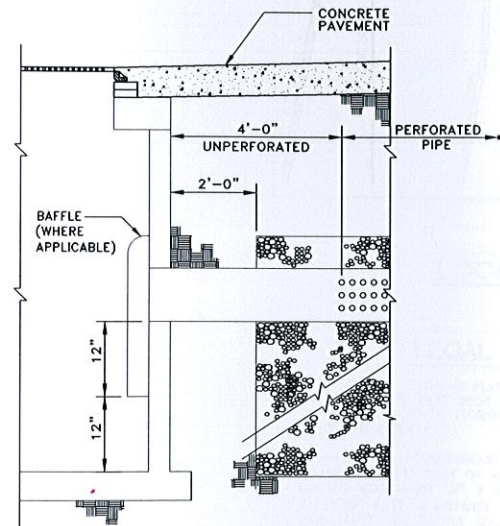
TRENCH DRAIN DETAIL
SCALE: 3/4" = 1'-0"

NOTE: CONTRACTOR SHALL SUBMIT TRENCH DRAIN SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO ORDERING TRENCH DRAIN.



SECTION

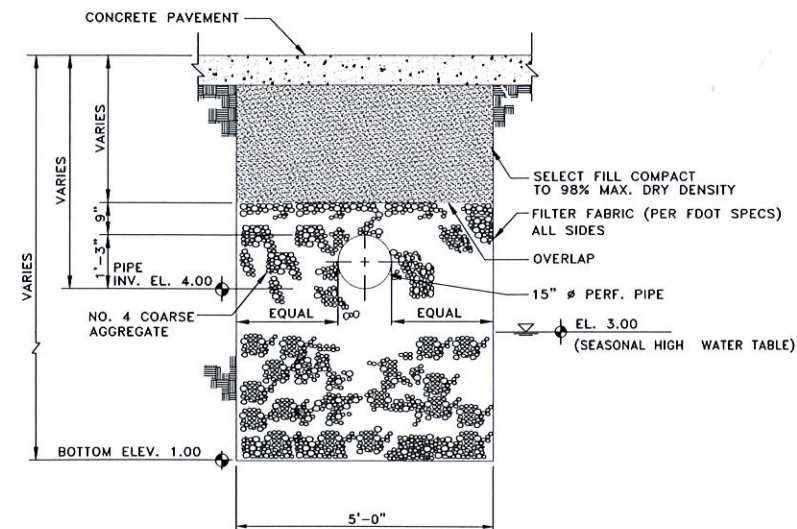
CATCH BASIN/MANHOLE DETAIL
SCALE: 1/2" = 1'-0"



NOTES:

1. PROVIDE BAFFLE WHEREVER PIPE ENTERS FRENCH DRAIN.
2. BAFFLE SHALL BE TYPE S-15 HYDRO-BAFFLE AS MANUFACTURED BY GEOTECHNICAL MARINE CORP. OR APPROVED EQUAL.

FRENCH DRAIN CONNECTION DETAIL
SCALE: 1/2" = 1'-0"



FRENCH DRAIN SECTION
SCALE: 1/2" = 1'-0"

LAYOUT PLAN
SCALE: 1" = 20'

DRAWN BY: P.J.F.
CHECKED BY: N.H.O.
APPROVED BY: R.B.B.
DATE: 6-20-14
PROJECT NO.: 14037

STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004



CONSULTING ENGINEERING & SCIENCE, INC.
10700 N. KENDALL DRIVE
MIAMI, FLORIDA 33176
SUITE 400
(305) 378-5555
EB-0003256

FOR THE FIRM
RICHARD B. BOCHNOWICH
PE-5653 (EVAL)

STIRLING MARINA & BOAT SALES
DRAINAGE DETAILS

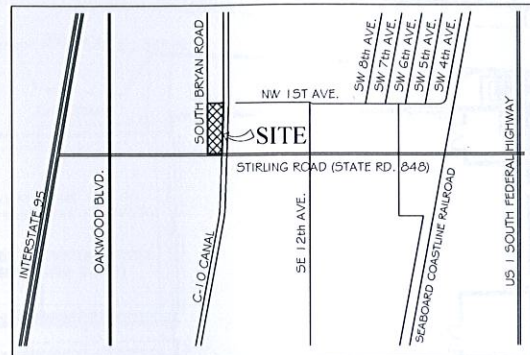
NO.		DATE	REVISION	SCALE: AS SHOWN
				C-4
				SH. NO. OF

WATER AND SEWER NOTES

- ALL WORK TO BE PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (F.B.C.) LATEST EDITION. WORK SHALL ALSO BE IN COMPLIANCE WITH THE REQUIREMENTS OF, AND ACCEPTABLE TO, CITY OF DANIA BEACH ENGINEERING DEPARTMENT, BROWARD COUNTY HEALTH DEPARTMENT, APPLICABLE ZONING ORDINANCES AND ANY AGENCY HAVING JURISDICTION ON THIS PROJECT.
- CONTRACTOR SHALL EXERCISE ALL CARE AND CAUTION IN PROTECTING ALL UTILITIES DURING COMPLETION OF HIS WORK. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY CO. ANY AND ALL COST INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE HIS OWN LINE AND GRADE FROM HORIZONTAL AND VERTICAL CONTROL. CONTRACTOR SHALL ALSO PROVIDE "AS-BUILT" GRADES CERTIFIED BY A REGISTERED LAND SURVEYOR AS REQUIRED BY BROWARD COUNTY HEALTH DEPARTMENT.
- CONTRACTOR'S ATTENTION IS DIRECTED TO GENERAL AND SPECIFIC CONDITIONS AND PERMIT PROVISIONS OF WATER AND SEWER PERMITS.
- POLYVINYL CHLORIDE PIPE (PVC) 4" THROUGH 12" SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C900 (LATEST EDITION) AND SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE A DR (DIMENSION RATIO) OF 18. THE ON-SITE FIRE LINE SYSTEM SHALL HAVE A WORKING PRESSURE OF 200 PSI AND HAVE A DR OF 14. ALL PVC PIPE SHALL BEAR THE NSF LOGO FOR POTABLE WATER JOINTS SHALL BE OF THE PUSH-ON TYPE AND COUPLINGS CONFORMING TO ASTM D3139 CONFORMING TO DR18 OR DR14 PIPE.
- WATER LINES, 3" OR SMALLER, SHALL BE PVC, SCHEDULE 80, AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-1785. ALL PVC PIPE SHALL BEAR THE APPROVAL SEAL OF THE NATIONAL SANITATION FOUNDATION (NSF) FOR POTABLE WATER PIPE.
- FITTINGS FOR ALL DUCTILE IRON PIPE AND PVC C900 PIPE SHALL BE DUCTILE IRON AND SHALL CONFORM TO ANSI/AWWA C153/ A21.53 (LATEST EDITION) 250 PSI MINIMUM PRESSURE RATING AND SHALL BE CEMENT LINED IN CONFORMANCE WITH ANSI/AWWA C104/A21.4 (LATEST EDITION).
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35. PVC NON-PRESSURE PIPE SHALL BE TYPE PSM POLYVINYL CHLORIDE (PVC) HAVING A CELL CLASSIFICATION OF 12454-B OR 12454-C OR 13364-B (WITH A MINIMUM TENSILE MODULES OF 500,000 PSI) AS DEFINED IN ASTM D1784. ALL PVC PIPE AND FITTINGS SHALL MEET OR EXCEED ALL OF THE MATERIAL REQUIREMENTS OF ASTM D3034 AND THICKNESS REQUIREMENTS OF SDR 35. UV DEGRADED PIPE SHALL BE REJECTED.
- PROVISIONS MUST BE MADE FOR CONTRACTION AND EXPANSION AT EACH JOINT WITH A RUBBER RING AND INTEGRAL THICKENED BELL AS PART OF EACH JOINT. GASKETS SHALL CONFORM TO ASTM F477. PIPE SHALL BE SUPPLIED IN LAYING LENGTHS OF 19'-1/2 TO 20 FEET. ALL PIPE AND FITTINGS SHALL BE ASSEMBLED WITH A NON-TOXIC LUBRICANT.
- ALL FITTINGS AND PLUGS TO BE USED WITH THE PVC PIPE SHALL BE THOSE MANUFACTURED BY THE MANUFACTURER OF THE PIPE. EACH SPECIAL FITTING SHALL BE A COMPLETELY MANUFACTURED UNIT WITH EITHER BELLS OR SPIGOTS ON EACH CONNECTION THAT ARE AN EXACT DUPLICATION OF THE BELLS AND SPIGOTS ON THE PIPELINE. FITTINGS WITH ANY OTHER TYPE OF CONNECTIONS SHALL NOT BE ACCEPTED.
- TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
- TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.
- GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS, OR APPROVED EQUAL.
- GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-02 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.
- FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER, CLOW OR APPROVED EQUAL.
- ALLOWABLE LEAKAGE FOR PVC PRESSURE MAINS WILL BE IN ACCORDANCE WITH AWWA C605.
- CONSTRUCTION INSPECTION WILL BE PROVIDED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, METERS, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIALS, AND FACILITIES REQUIRED FOR ALL HYDROSTATIC AND LEAKAGE TESTING.
- CONTRACTOR SHALL OBTAIN A COPY OF THE FDEP WATER SYSTEM PERMIT AND FULL BACTERIOLOGICAL TESTING SAMPLES FROM THE SAMPLE POINTS SPECIFIED IN THE PERMIT. BE AWARE THAT THE BACTERIOLOGICAL TEST RESULTS MUST INCLUDE THE CHLORINE RESIDUAL OF EACH SAMPLE.
- PRIOR TO THE CONNECTION TO ANY EXISTING MAIN, THE PROPOSED WATER MAIN SHALL BE DISINFECTED, HAVE ENGINEER WITNESSED AND APPROVED PRESSURE TESTING, AND HAVE FDEP CLEARANCE. REFER TO FDEP PERMIT FOR ANY ADDITIONAL REQUIREMENTS.
- THE WATER SYSTEM SHALL BE TESTED FOR LEAKAGE AT NO LESS THAN 150 PSI FOR TWO (2) HOURS, WITH ALLOWABLE LEAKAGE IN ACCORDANCE WITH ABOVE STANDARDS.
- LEAKAGE TESTING OF THE SANITARY SEWER SYSTEM IS REQUIRED IN ACCORDANCE WITH RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (1997 EDITION) 33.93, 33.94 AND 33.95. THE TEST SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER OF RECORD. FOR WATER (HYDROSTATIC) TESTING, THE LEAKAGE EXFILTRATION OR INFILTRATION SHALL NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET.
- CONTRACTOR SHALL PERFORM LINE LAMPING AND DEFLECTION TEST, WHICH SHALL BE WITNESSED BY THE ENGINEER AND OWNER/OPERATOR. THE TEST SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (2004 EDITION) 33.85. THE DEFLECTION TEST SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER FINAL BACKFILL HAS BEEN PLACED AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF DEFLECTION EXCEEDS 5%, REPLACEMENT OR CORRECTION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH REQUIREMENTS IN THE APPROVED SPECIFICATIONS. THE RIGID BALL OR MANDREL USED FOR THE DEFLECTION TEST SHALL HAVE A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- STANDARD PIPE MARKINGS:
ALL PIPE AND PIPE FITTINGS SHALL BE COLOR CODED OR MARKED AS FOLLOWS:
A. POTABLE WATER PIPE: BLUE
B. RECLAIMED WATER PIPE: VIOLET
C. SANITARY PIPE: GREEN

GENERAL NOTES

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.).
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY PROFESSIONAL SURVEYORS, INC., 7744 TAFT STREET PEMBROKE PINES, FLORIDA 33024.



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION

TRACT "A", OF "SYMONS PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT "A"; THENCE SOUTH 87°55'33" WEST ON AN ASSUMED BEARING ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 14.00 FEET; THENCE NORTH 21°13'59" EAST, A DISTANCE OF 35.39 FEET TO THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 02°04'22" EAST ALONG SAID EAST LINE, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

**FLORIDA DEP NOTES
ON WATER-SEWER INSTALLATION**

- A HORIZONTAL DISTANCE OF 10 FT. SHALL BE MAINTAINED BETWEEN WATER AND SEWER MAINS. WHEN THE 10 FEET HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH MECHANICAL JOINTS.
- A VERTICAL DISTANCE OF AT LEAST 18 INCHES SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS. THE SEWER SHALL BE A DUCTILE IRON SINGLE 20 FEET LENGTH CENTERED ON THE CROSSING IF THE MINIMUM VERTICAL DISTANCE IS LESS THAN 18 INCHES OR THE SEWER IS INSTALLED ABOVE THE WATER MAIN REGARDLESS OF SEPARATION).
- IN HIGHLY CONGESTED AREAS, WHERE EITHER WATER OR SEWER FACILITIES ARE EXISTING AND THE SEPARATION REQUIREMENTS CANNOT BE MET, SPECIAL CONSIDERATION MAY BE GIVEN SUBJECT TO A COMPLETE EVALUATION OF EXISTING AND PROPOSED CONDITIONS.
- THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- ALL OTHER PUBLIC OR PRIVATE UTILITY FACILITIES SHALL BE CONSTRUCTED AT LEAST 3 FEET FROM ANY WATER AND SEWER MAIN AS MEASURED FROM THE OUTSIDE BELL OF THE WATER AND SEWER PIPE TO THE OUTSIDE OF THE UTILITY PIPE.
- WHEN THE 3 FEET SEPARATION BETWEEN PROPOSED AND EXISTING LINE IS NOT POSSIBLE, THE CONTRACTOR SHALL HAND DIG OR EXPOSE THE WATER AND SEWER PIPES BEFORE PROCEEDING WITH POWER EQUIPMENT EXCAVATION.
- IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH PARALLEL TO AND ABOVE EXISTING WATER AND SEWER PIPES EXCEPT WHERE THEY CROSS. ANY DEVIATION FROM NOTES 4 AND 5 SHALL BE APPROVED IN WRITING BY THE RESPONSIBLE WATER AND SEWER UTILITY.

HEALTH DEPARTMENT NOTES

WATER MAIN HORIZONTAL SEPARATIONS

SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND, STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES, SHALL BE 3 FT MINIMUM.

BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.

GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 6 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAINS IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.

10 FT. TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN VERTICAL SEPARATIONS

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.

PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.

* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

UTILITY DEMOLITION NOTES

- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICE LINES PRIOR TO START OF CONSTRUCTION AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION.
- THE CONTRACTOR SHALL ARRANGE FOR THE PROPER DISCONNECTION AND CAPPING OF ALL UTILITIES BY THE APPROPRIATE CERTIFIED TECHNICIAN.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND OWNER PRIOR TO DEMOLISHING ANY EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITIES DESIGNATED TO REMAIN AND TO REPAIR ANY DAMAGED UTILITIES.

DRAWN BY:	P. J. F.
CHECKED BY:	N. H. O.
APPROVED BY:	R. B. B.
DATE:	6-20-14
PROJECT NO.:	14037

STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004

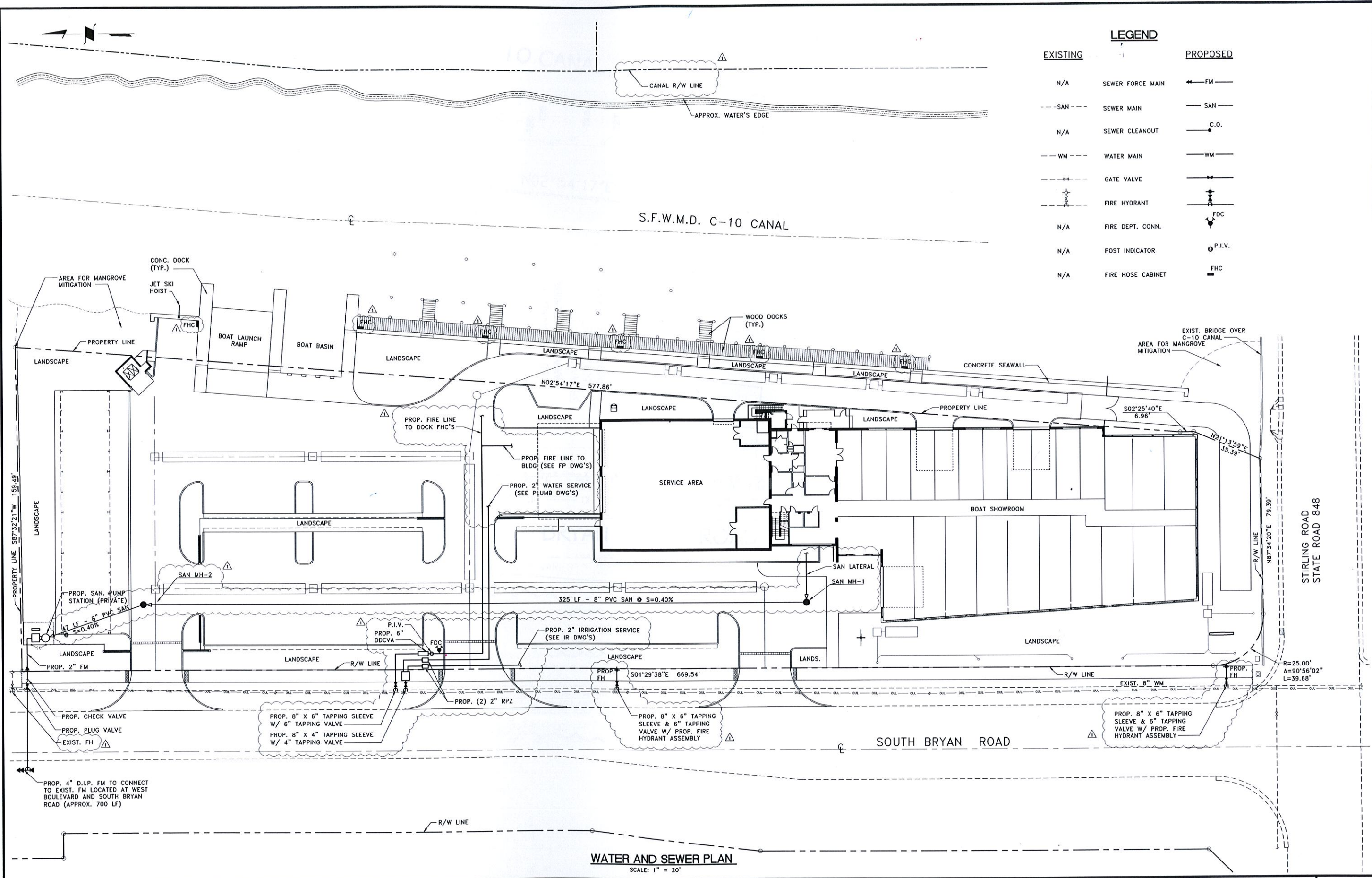


CONSULTING ENGINEERING & SCIENCE, INC.
10700 N. KENDALL DRIVE SUITE 400
MIAMI, FLORIDA 33176 (305) 378-5555
EB-0003265

FOR THE FIRM
RICHARD B. BOCHNOWICH
PE-18632

STIRLING MARINA & BOAT SALES
WATER & SEWER NOTES

SCALE: AS SHOWN		
C-5		
NO.	DATE	REVISION
SH. NO.	OF	



LEGEND

EXISTING	PROPOSED	
N/A	SEWER FORCE MAIN	FM
SAN	SEWER MAIN	SAN
N/A	SEWER CLEANOUT	C.O.
WM	WATER MAIN	WM
	GATE VALVE	
	FIRE HYDRANT	FH
N/A	FIRE DEPT. CONN.	FDC
N/A	POST INDICATOR	P.I.V.
N/A	FIRE HOSE CABINET	FHC

WATER AND SEWER PLAN
SCALE: 1" = 20'

DRAWN BY: P.J.F.
CHECKED BY: N.H.O.
APPROVED BY: R.B.B.
DATE: 6-20-14
PROJECT NO.: 14037

STIRLING MARINA & BOAT SALES
150 SOUTH BRYAN ROAD
DANIA BEACH, FLORIDA 33004

CONSULTING ENGINEERING & SCIENCE, INC.
10700 N. KENDALL DRIVE
MIAMI, FLORIDA 33176
SUITE 400
(305) 378-5555
EB-0003255

STIRLING MARINA & BOAT SALES
WATER & SEWER PLAN

NO.	DATE	REVISION
1	8/06/14	DRC REV.

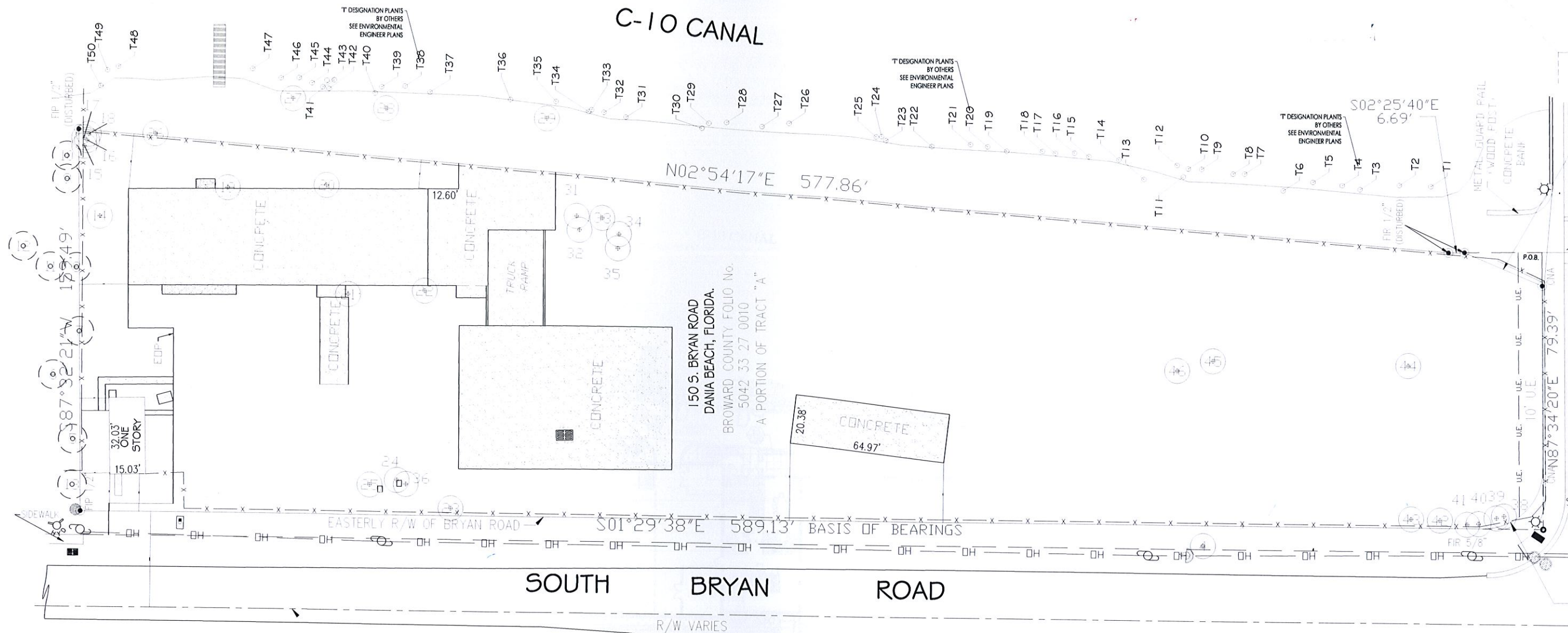
SCALE: AS SHOWN
C-6
SH. NO. OF



A. GRANT
THORBROUGH
AND ASSOCIATES

LANDSCAPE ARCHITECTS
AND LAND PLANNERS

132 North Swinton Avenue
Delray Beach, FL 33444
(561) 276-5050
FAX (561) 276-8777



SCALE: 1"=20'-0"

- TREE REMOVAL LICENSE WILL BE OBTAINED PRIOR TO STARTING ANY WORK ON SITE.

- TREE VALUES WERE DETERMINED USING 'TRUNK FORMULA METHOD' FROM
"THE GUIDE FOR PLANT APPRAISAL" PUBLISHED BY THE INTERNATIONAL
SOCIETY OF ARBORICULTURE, PAGES 70-75.

EXISTING TREE CHART

NUMBER	DESCRIPTION	DBH	HEIGHT	CANOPY	C.T.	STATUS	DOLLAR VALUE	DISPOSITION
4	AUSTRALIAN PINE	2.45'	44'	30'		GOOD	\$0.00	TO BE REMOVED
5	SABAL PALM	35'	16'	10'		FAIR	\$0.00	TO REMAIN
6	SABAL PALM	1.60'	18'	8'		GOOD	\$0.00	TO REMAIN
7	SABAL PALM	1.65'	18'	8'		GOOD	\$0.00	TO REMAIN
8	SABAL PALM	1.45'	18'	8'		GOOD	\$0.00	TO REMAIN
9	SABAL PALM	1.55'	16'	10'		GOOD	\$0.00	TO REMAIN
10	ROYAL PALM	75'	16'	10'		POOR	\$0.00	TO REMAIN
11	LIVE OAK	Quercus virginiana	20'	14'		GOOD	\$0.00	TO REMAIN
12	LIVE OAK	Quercus virginiana	30'	24'	10'	GOOD	\$0.00	TO REMAIN
13	SABAL PALM	35'	28'	18'		GOOD	\$0.00	TO REMAIN
14	LIVE OAK	Quercus virginiana	1.40'	30'	20'	GOOD	\$160.00	TO BE REMOVED
15	DANCON HOLLY	Ilex cassine	23' F	10'	4'	GOOD	\$0.00	TO BE REMOVED
16	DANCON HOLLY	Ilex cassine	30'	20'	8'	GOOD	\$0.00	TO BE REMOVED
17	DANCON HOLLY	Ilex cassine	27' F	20'	8'	GOOD	\$0.00	TO BE REMOVED
18	LIVE OAK	Quercus virginiana	30' F	18'	6'	GOOD	\$0.00	TO BE REMOVED
19	STRANGLER FIG	Ficus aurea	30'	20'	16'	GOOD	\$0.00	TO BE REMOVED
20	SABAL PALM	Sabal palmetto	1.45'	16'	8'	GOOD	\$0.00	TO BE REMOVED
21	AUSTRALIAN PINE	Casuarina spp.	35'	20'	10'	GOOD	\$0.00	TO BE REMOVED
22	AUSTRALIAN PINE	Casuarina spp.	40'	20'	10'	GOOD	\$0.00	TO BE REMOVED
23	AUSTRALIAN PINE	Casuarina spp.	1.07'	42'	20'	GOOD	\$0.00	TO BE REMOVED
24	AUSTRALIAN PINE	Casuarina spp.	1.20'	42'	20'	GOOD	\$0.00	TO BE REMOVED
25	AUSTRALIAN PINE	Casuarina spp.	1.45'	42'	20'	GOOD	\$0.00	TO BE REMOVED
26	TROPICAL ALMOND	Terminalia catappa	70'	30'	16'	GOOD	\$0.00	TO BE REMOVED
27	TROPICAL ALMOND	Terminalia catappa	60'	28'	16'	GOOD	\$0.00	TO BE REMOVED
28	TROPICAL ALMOND	Terminalia catappa	45'	24'	14'	GOOD	\$0.00	TO BE REMOVED
29	AUSTRALIAN PINE	Casuarina spp.	55'	20'	10'	GOOD	\$0.00	TO BE REMOVED
30	AUSTRALIAN PINE	Casuarina spp.	24'	16'	8'	GOOD	\$0.00	TO BE REMOVED
31	AUSTRALIAN PINE	Casuarina spp.	21'	16'	8'	GOOD	\$0.00	TO BE REMOVED
32	AUSTRALIAN PINE	Casuarina spp.	20'	16'	8'	GOOD	\$0.00	TO BE REMOVED
33	AUSTRALIAN PINE	Casuarina spp.	26'	16'	8'	GOOD	\$0.00	TO BE REMOVED
34	AUSTRALIAN PINE	Casuarina spp.	26'	16'	8'	GOOD	\$0.00	TO BE REMOVED
35	AUSTRALIAN PINE	Casuarina spp.	26'	16'	8'	GOOD	\$0.00	TO BE REMOVED
36	AUSTRALIAN PINE	Casuarina spp.	75'	40'	12'	GOOD	\$0.00	TO BE REMOVED
39	AUSTRALIAN PINE	Casuarina spp.	1.30'	33'	14'	GOOD	\$0.00	TO BE REMOVED
40	AUSTRALIAN PINE	Casuarina spp.	65' F	30'	8'	GOOD	\$0.00	TO BE REMOVED
41	AUSTRALIAN PINE	Casuarina spp.	21' F	16'	8'	GOOD	\$0.00	TO BE REMOVED
42	AUSTRALIAN PINE	Casuarina spp.	1.55'	34'	20'	GOOD	\$0.00	TO BE REMOVED
43	AUSTRALIAN PINE	Casuarina spp.	1.07'	34'	20'	GOOD	\$0.00	TO BE REMOVED
44	AUSTRALIAN PINE	Casuarina spp.	33'	14'	6'	GOOD	\$0.00	TO BE REMOVED
45	AUSTRALIAN PINE	Casuarina spp.	25'	16'	8'	GOOD	\$0.00	TO BE REMOVED
48	AUSTRALIAN PINE	Casuarina spp.	21'	16'	8'	GOOD	\$0.00	TO BE REMOVED

- TREES WITH AN 'F' BY THE DIAMETER ARE GROWING IN A FENCE
 ** DENOTES TREE IS IN RIGHT-OF-WAY.
 *** DENOTES TREE IS ON NEIGHBORING PROPERTY WITHIN 25' OF SUBJECT PROPERTY.

PROJECT
STIRLING MARINA &
NEW BOAT SALES
DANIA BEACH, FL
TITLE
TREE REMOVAL PLAN

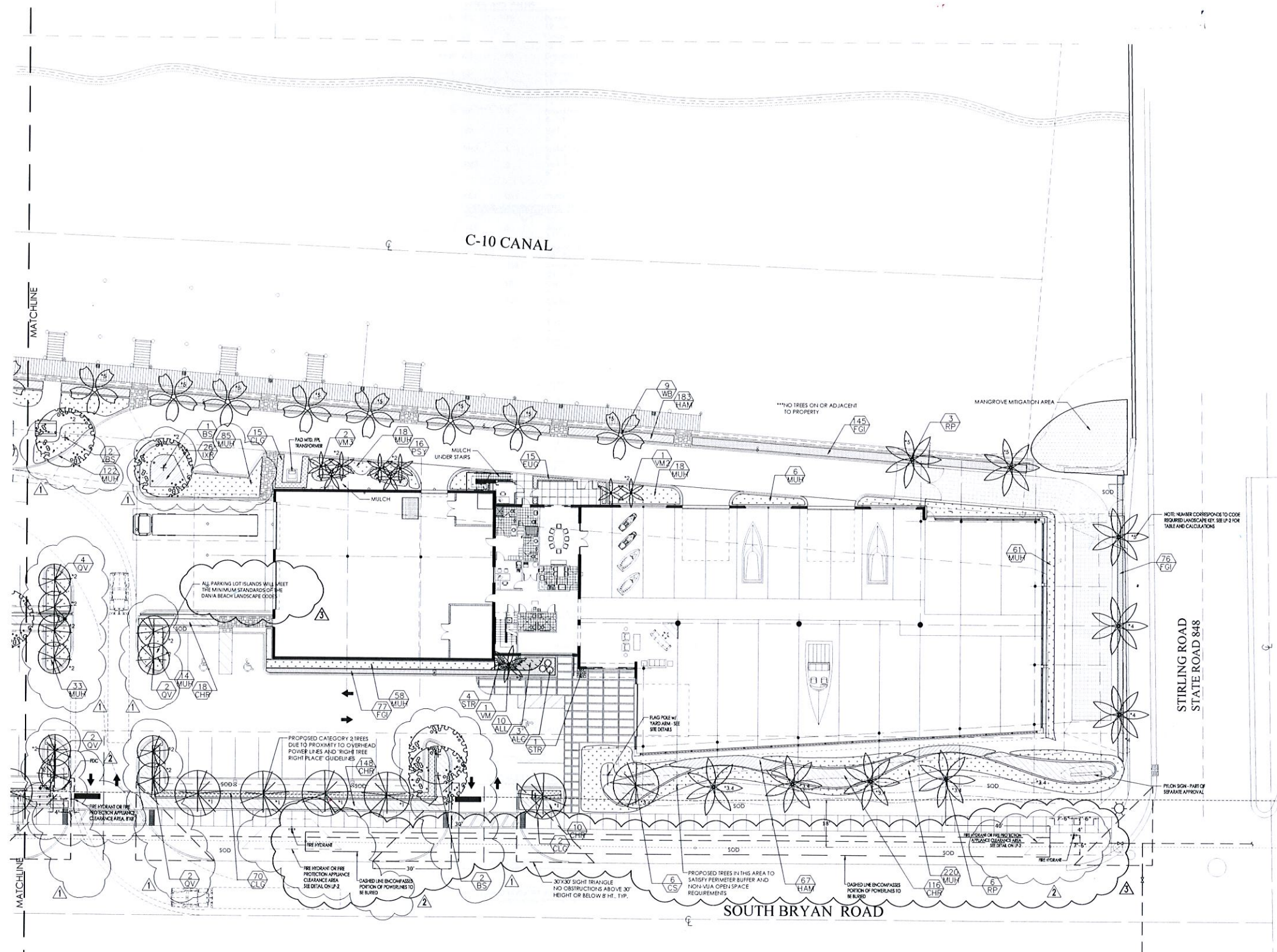
PROJ. NO.
x FILE NAME
PC/AGT/CP DRAWN
8/5/14 DATE
8/28/14 REV
9/8/14 REV



A. GRANT
THORNBROUGH
AND ASSOCIATES

LANDSCAPE ARCHITECTS
AND LAND PLANNERS

132 North Swinton Avenue
Delray Beach, FL 33444
(561) 276-5050
FAX (561) 276-8777



SCALE: 1" = 20'-0"

PROJECT
STIRLING MARINA &
NEW BOAT SALES
DANIA BEACH, FL
TITLE
LANDSCAPE PLAN



PARTIAL LANDSCAPE PLAN - SOUTH

SCALE: 1" = 20'-0"



ADDRESS: 150 S. BRYAN ROAD, DANIA BEACH, FLORIDA 33094

LEGAL DESCRIPTION:
TRACT "A", OF "SYMONS PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT "A", THENCE SOUTH 87°55'33" WEST ON AN ASSUMED BEARING ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 14.00 FEET; THENCE NORTH 21°13'39" EAST, A DISTANCE OF 35.39 FEET TO THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 02°54'22" EAST ALONG SAID EAST LINE, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

SURVEYOR INFORMATION:
PREPARED BY: THIS SITE PLAN TAKEN FROM A SURVEY PREPARED BY PROFESSIONAL SURVEYORS, INC. 7744 TAFT STREET FORT PINE, FLORIDA 33024

PROJ. NO.	FILE NAME	DRAWN	DATE	REV.
	PC/AGT/CP		7/2/14	
			8/5/14	1
			8/28/14	2
			9/8/14	3



A. GRANT
THORNBROUGH
AND ASSOCIATES

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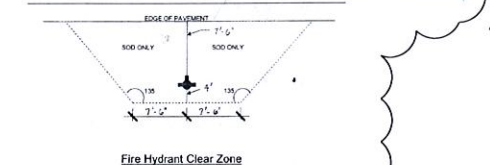
132 North Swinton Avenue
Delray Beach, FL 33444
(561) 276-5050
FAX (561) 276-8777

1. A pre-construction meeting with the Dania Beach City Arborist is required prior to landscaping activities including removal of trees and/or installation of plant material. Call 954-924-0423 a minimum of 5 days prior to desired start date to schedule pre-construction meeting.
2. All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. The tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the drip-line(s) if a tree protection zone is not designated. No material storage or construction access is permitted within the tree protection zone.
3. All existing trees shall be pruned to ANSI A-300 standards to correct potential hazards.
4. A tree removal permit is required prior to removal or relocation of any tree or palm. Contact the Dania Beach City Arborist at 954-924-5805 to obtain permit information.
5. Landscape contractor shall notify Sunshine One Call of Florida, Inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. Landscape contractor is responsible for avoiding damage to utilities from plant installation.
6. Tree relocations:
 - a. Existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation
 - b. Minimum root ball sizes shall be in accordance with ANSI standards as follows:

Caliper	Minimum Root Ball Diameter
1	16
2	24
3	32
4	42
5	54
6	60
7	70
8	80
>8	12 inches per inch of trunk diameter

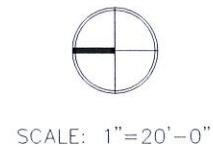
 Transplanted trees with undersized root balls may be rejected by the City Arborist and replacement trees may be required.
7. A temporary irrigation system shall be provided during and for the first 40 days after root pruning.
8. All planting must follow planting specifications and details shown on the plan.
9. Substitutions of plant species or specifications must be approved in writing by the Dania Beach City Arborist prior to use.
10. All plant material planted per this landscape plan shall be Florida Grade #1 or better, as specified in the current edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants. Damaged plant material shall be rejected and replaced prior to installation.
11. Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
12. All new plant material shall be warranted by the landscape contractor for a minimum period of one year. The warranty period shall begin after acceptance of the plants by the City Arborist.
13. All plant beds to be treated with pre-emergent herbicide prior to planting.
14. All tree and palm staking and support shall be removed one year after installation.
15. No fertilizer shall be applied to newly planted trees and palms.
16. All landscape material shall be thoroughly watered at the time of planting, no dry planting permitted.
17. Landscape contractor shall be responsible for providing temporary water provisions until such time as the irrigation system is operational.
18. All wire guys and/or fabric straps shall be flagged with fluorescent colored tape.
19. Mulching:
 - a. All landscape areas not covered by sod shall be covered by a minimum 3-inch layer of mulch.
 - b. A mulch ring with a minimum radius of 24 inches (48 inch diameter), is required around all newly installed trees and palms.
 - c. Cypress mulch shall not be used.
20. All new landscaped areas shall be excavated down to a depth of 24 inches below final grade and back filled with clean debris-free soil. Construction access shall be restricted from the landscape area after excavation and backfill is complete.
21. All landscape areas shall be finish graded such that they are a minimum of 3.5 inches below surrounding paved surfaces so as not to impede the flow of drainage into landscaped areas and to allow for a 3-inch mulch layer.

FIRE HYDRANT LANDSCAPE SPACING DETAIL



Fire Hydrant Clear Zone
NOT TO SCALE

Requirements apply to fire hydrants, stainless steel connections and any other fire equipment for utilizing fire hose on public or private property.
By the authority of the South Florida Fire Prevention Code Section 5211.2
The diagram shall appear on all landscape plans prior to approval.
The clear zone shall be free of landscape (except sod), mulches, parking, lamp-posts and all other objects.
Exceptions: other fire fighting equipment, or traffic posts to protect fire fighting equipment.



PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		
** N BS	12	Bursera simaruba (Gumbo Limbo) 12-14' ht., 6' spr., full canopy
** N CE	3	Conocarpus erectus (Buttonwood) 12' ht., 6' spr., full canopy
** N CS	18	Conocarpus erectus var. sericeus (Silver Buttonwood) 14' ht., 8' spr., full canopy
** N CU	1	Coccoloba uvifera (Seagrape) 14' ht., 8' spr., full canopy
** N QV	16	Quercus virginiana 'QV11A' PP11219 Highrise (Live Oak 'Highrise') 14' ht., 8' spr., full canopy
N RP	6	Roystonea regia (Royal Palm) 8-10' g.w., 25' o.a. ht. min., heavy, matched
VM	1	Veitchia montgomeryana (Montgomery Palm) 6' c.t. hts., 12' o.a. ht., heavy
VM2	1	Veitchia montgomeryana (Montgomery Palm) 6' c.t. hts., 12' o.a. ht., double, heavy
VM3	2	Veitchia montgomeryana (Montgomery Palm) 6' c.t. hts., 12' o.a. ht., triple, heavy

KEY QTY PLANT AND SPECIFICATION

KEY	QTY	PLANT AND SPECIFICATION
SHRUBS, GROUNDCOVERS AND ACCENTS		
ALC	3	Alcantarea imperialis (Imperial Bromeliad) 17" pot, 32" spr.
ALL	10	Allamanda cathartica 'Compacta' (Dwarf Allamanda) 18" ht., 18" spr., 24" o.c.
** N CHR	716	Chrysalidocarpus lutescens (Areca Palm) 24" ht., 24" spr., full, 24" o.c.
CHL	18	Chrysalidocarpus lutescens (Areca Palm) 12' ht., 8' spr., 8' o.c., full to base, used as screening hedge, not for tree requirements
** N CLG	196	Clusia guttifer (Small Leaf Clusia) 4' ht., 24" spr., full, 2" o.c.
** N EUG	15	Eugenia foetida (Spanish Stopper) 4' ht., 18" spr., full, 24" o.c.
** FGI	140	Ficus microcarpa var 'Green Island Ficus' (Green Island Ficus) 12' ht., 12" spr., full, 18" o.c.
** N HAM	119	Hamelia patens 'Calusa' (Firebush 'Calusa') 24" ht., 18" spr., full, 18" o.c.
IXR	43	Ixora coccinea 'Nora Grant' (Ixora 'Nora Grant') 24" ht., 18" spr., full, 24" o.c.
** N MUH	622	Muhlenbergia capillaris (Muhly Grass) 12" ht., 12" spr., full, 30" o.c., 4" pots
N PSY	16	Psychotria nervosa (Wild Coffee) 24" ht., 18" spr., full, 18" o.c.
SCH	49	Schefflera arboricola (Dwarf Schefflera) 24" ht., 24" spr., full, 24" o.c.
STR	5	Strelitzia reginae (Bird of Paradise) 36" ht., 24" spr., full

PLANTS IN SFWMD EASEMENT

KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		
N RP	3	Roystonea regia (Royal Palm) 8-10' g.w., 25' o.a. ht. min., heavy, matched
WB	9	Wodyetia bifurcata (Foxtail Palm) 8' c.t. hts., 15' o.a. ht. heavy
SHRUBS, GROUNDCOVERS AND ACCENTS		
** FGI	158	Ficus microcarpa var 'Green Island Ficus' (Green Island Ficus) 12' ht., 12" spr., full, 18" o.c.
** N HAM	183	Hamelia patens 'Calusa' (Firebush 'Calusa') 24" ht., 18" spr., full, 18" o.c.
** N MUH	52	Muhlenbergia capillaris (Muhly Grass) 12" ht., 12" spr., full, 30" o.c., 4" pots

N DENOTES NATIVE SPECIES
** DENOTES DROUGHT TOLERANT

EXISTING TREES ON ADJACENT PROPERTY TO REMAIN

NATIVE CALCULATIONS

TREES: THERE ARE 59 NEW TREES ON PLAN. 56 ARE NATIVE = 95% OF TREES ARE NATIVE
SHRUBS: THERE ARE 1,934 SHRUBS ON PLAN. 1,694 ARE NATIVE = 88% ARE NATIVE

VUA LANDSCAPE AREA CALCULATION

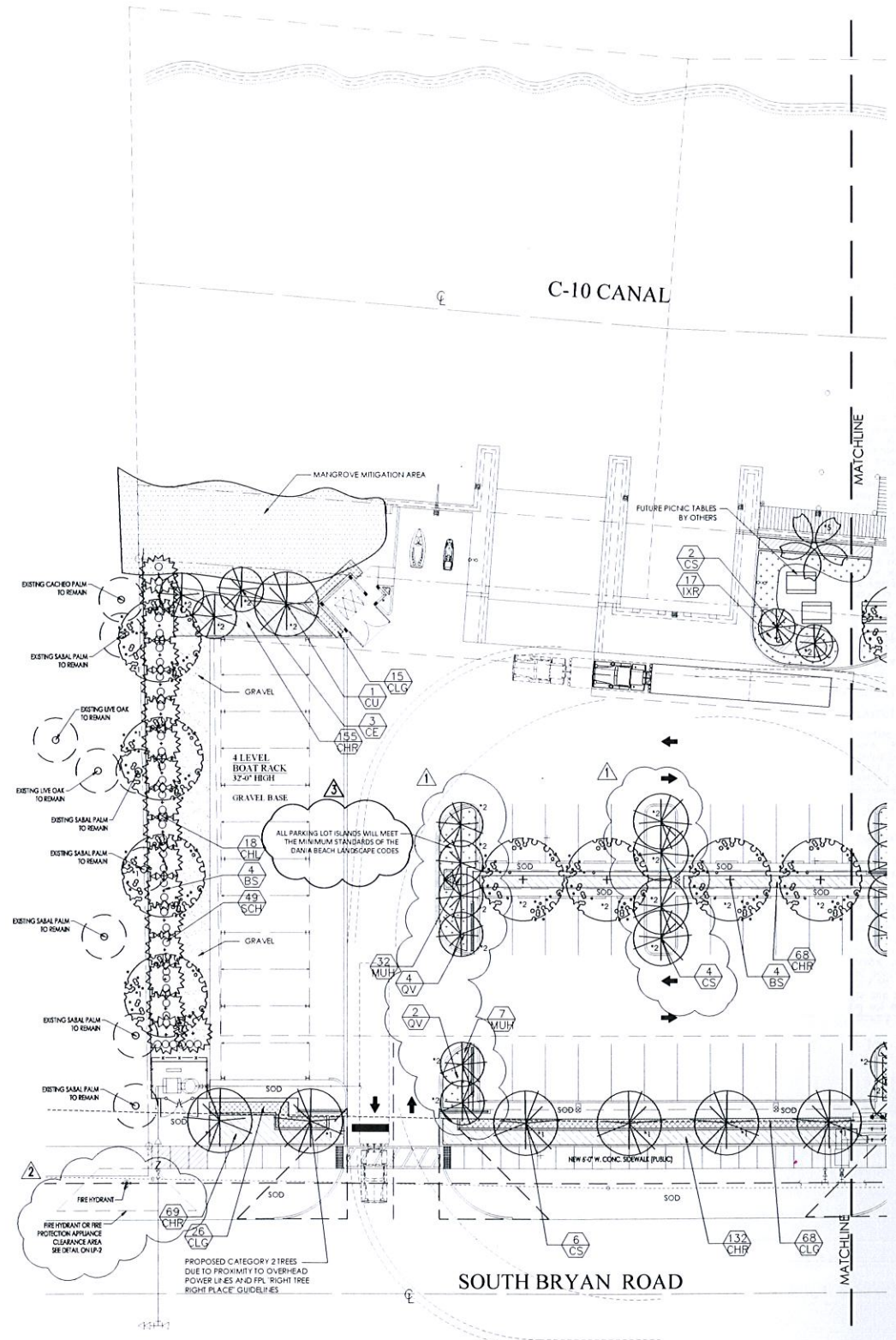
VUA=31,286 SF
31,286 SF X 20% = 6,257.2 SF OF REQUIRED LANDSCAPE AREA
THIS REQUIRED LANDSCAPE AREA IS ACHIEVED BY PARKING LOT ISLANDS AND SPACE SURROUNDING THE PARKING LOT

LANDSCAPING CODE REQUIREMENTS - ALL AREAS			
CODE	CATEGORY	REQUIREMENT	VEGETATION PROVIDED
*1	VEHICULAR USE AREA - PERIMETER BUFFER	1 SHADE TREE/40 LF, HEDGE 24" O.C.	558 L.F. = 14 TREES, 242 SHRUBS
*2	VEHICULAR USE AREA - INTERIOR	LANDSCAPE AREA = 20% OF VUA	6,257.2 SF LANDSCAPED AREA, 9,932 SF LANDSCAPED AREA, 37 TREES, 924 SHRUBS
*3	NON-VEHICULAR USE AREA < 30% (10%)	1 TREE & 10 SHRUBS PER 2000SF	8,201 SF = 5 TREES, 100 SHRUBS
*4	GENERAL - PERIMETER BUFFER	1 TREE PER 40 LF, HEDGE 24" O.C.	297 LF = 8 TREES, 149 SHRUBS
*5	OTHER - SFWMD EASEMENT	N/A	12 PALM TREE, SHRUBS
		TOTALS	27 TREES REQUIRED 59 TREES PROVIDED 491 SHRUBS 1,933 SHRUBS/GC

PLANT SIZE - DISTRIBUTION OF TREES			
CATEGORY	REQUIREMENT	PROVIDED	PERCENTAGE
1-SHADE	40% MIN.	36	61%
2-INTERMEDIATE	30% MAX.	20	34%
3-SMALL	10% MAX.	0	0%
4-PALM	20% MAX.	3	5%

LANDSCAPE TABULAR DATA

NON-RESIDENTIAL LANDSCAPE REQUIREMENTS			
CATEGORY	REQUIREMENT	VEGETATION REQUIRED	VEGETATION PROVIDED
PERIMETER VEGETATION			
NORTH PROPERTY LINE	1 SHADE TREE / 40 LF. CONTINUOUS 3' HT. HEDGE	4 SHADE TREES 159 L.F. CONTINUOUS HEDGE	4 SHADE TREES - (GUMBO LIMBO) 159 L.F. CONTINUOUS HEDGE (ARECA PALM)
WEST PROPERTY LINE	1 SHADE TREE / 40 LF. CONTINUOUS 3' HT. HEDGE	15 SHADE TREES 532 L.F. CONTINUOUS HEDGE	16 TREES* (SILVER BUTTONWOOD, ROYAL PALM) 532 CONTINUOUS HEDGE (MIXED) * SEE NOTE ON LP-2
SOUTH PROPERTY LINE	1 SHADE TREE / 40 LF. CONTINUOUS 3' HT. HEDGE	3 SHADE TREES 76 L.F. - CONTINUOUS HEDGE	3 PALM TREES (ROYAL PALM) 76 L.F. CONTINUOUS HEDGE
EAST PROPERTY LINE	N/A	N/A	10 TREES (MIXED)
VEHICULAR USE AREA (VUA)	20% OF TOTAL VUA	31,286 X .2 = 6,257.2 SF	9,932 SF



PARTIAL LANDSCAPE PLAN - NORTH

SCALE: 1"=20'-0"



EXISTING GRADE (INGVD 1929)

PROJECT
STIRLING MARINA &
NEW BOAT SALES

DANIA BEACH, FL

TITLE
LANDSCAPE PLAN

PROJ. NO.	FILE NAME	PC/AGT/CP	DRAWN	DATE	REV.
				7/2/14	
				8/5/14	
				8/28/14	
				9/8/14	

1. GENERAL CONDITIONS

A. SCOPE

- Contractor shall furnish labor, equipment, and materials required to perform all work necessary for the construction of the project as indicated in the drawings. Such work includes but is not limited to the following:
 - Finish grading of planting areas
 - Planting
 - Sodding (if required)
- Contractor shall have a competent representative at the site who shall be capable of reading and understanding plans, specifications, and other contract documents. The representative shall be knowledgeable in all areas of landscape construction in Florida.
- Contractor shall be responsible for knowledge of the contents of these specifications and the requirements of any accompanying drawings.

B. DRAWINGS

The drawings and plant lists together with these written specifications shall be considered as one contract document and shall be accordingly read together. The drawings and specifications remain the property of the Landscape Architect and, if required, shall be returned to him upon completion of the work. The contractor shall keep one copy of the drawings and the specifications at the construction site for the use of the Landscape Architect, Owner, and their representatives.

C. REQUIREMENTS OF REGULATORY AGENCIES

- Perform work in accordance with all applicable codes, laws, and regulations required by authorities having jurisdiction over such work and provide for all inspections and permits required by Federal, State, and local authorities in furnishing, transporting and installing materials.
- Certificates of inspection required by law for transportation shall accompany invoice for each shipment of plants. File copies of certificates with Landscape Architect or Owner after acceptance of material. Inspection by Federal or State Governments at place of growth does not preclude rejection of plants at project site.

D. PROTECTION OF WORK AND PROPERTY

- Contractor is responsible for maintaining adequate protection of his work from injury and loss resulting from the execution of this contract. He must make good all repairs and replacements to the satisfaction of the Landscape Architect or the Owner except where caused by the Owner or his agents. He must provide all safety or protective measures required by public authorities or local conditions.
- Existing plant material to remain must be protected by barriers or fences at the drip line surrounding the material. No burning, storage, or parking shall be permitted within these protected areas. Contractor shall notify the Landscape Architect or Owner of any situation he feels may damage the existing plants to remain in the normal execution of this contract. Do not proceed with such work until directed by the Landscape Architect or Owner. Contractor damaged plants shall be replaced with plants of the same species, size, and quality as those damaged at no cost to the Owner. The Landscape Architect shall determine the extent and value of the damaged plants.

E. CHANGES IN THE WORK

- The Owner reserves the right to make changes in the work and thereby changes in the cost of the work within the conditions of the original contract. All changes shall be in written form and once accepted, shall become a part of the contract documents.
- The Contractor shall not begin any work on extras or changes from the contract document before written approval has been given by the Owner or Owner's representative. Any work done prior to such written approval may or may not be paid for, at the discretion of the Owner.

F. OWNER'S RIGHT TO DO WORK

The Owner reserves the right, upon two (2) days written notice to the Contractor to remedy any neglected provisions of the contract and to deduct the cost of the work or deficiencies from the contract payments.

G. SURFACE AND SUBSURFACE OBSTRUCTIONS

It is the Contractor's responsibility to acquaint himself with the existence and location of all surface and subsurface structures and installations, existing or proposed, before commencing work. Any damage by the Contractor during the execution of this contract shall be made good at the Contractor's own time and expense. If subsurface construction or obstructions are encountered during planting, alternate locations may be selected by the Landscape Architect or Owner.

H. OWNER'S RIGHT TO TERMINATE

Should the Contractor at any time fail, refuse, or neglect to comply with the provisions of this contract, the Owner or his representative shall without prejudice to any other rights or remedy and after having given seven (7) days written notice to the Contractor, terminate the contract and take possession of the premises. The cost of completion will be deducted from the amount of the contract.

I. COORDINATION OF WORK

Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.

J. INSPECTION OF SITE

- Contractor shall visit the site and inspect site conditions as they exist prior to submitting bid.
- No additional compensation nor relief from any obligation of the contract will be granted because of lack of knowledge of the site or of the conditions under which the work will be accomplished.

II. PLANTING SPECIFICATIONS

A. PLANT MATERIALS

- Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project, unless otherwise noted.
- Quantities, sizes, and spacing will be determined by the drawings and specifications. Where discrepancies exist, the Landscape Architect or Owner is to be notified for clarification. Contractor shall be responsible for completing installation as called for in the plans, plant lists, and specifications.

B. ABBREVIATIONS ON PLANT LIST

- B&B - Balled and burlapped. Plants shall be dug with a firm natural ball of earth of sufficient size to encompass the fibrous root system necessary for recovery of the plant. Broken or loose balls will not be accepted.
- G - One (1) gallon container.
- R.C. - Rooted cutting. A cutting which has calloused and produced roots. Applies equally to cuttings rooted in a propagation bed or in individual containers.
- Cal. - Caliper of trunk measured four (4) feet above the ground.
- C.T. - Clear trunk. Measurement from top of root ball to first branching.
- G.W. - Grey wood area on palms between ground level and base of fronds.
- O.A. HT. - Overall height from ground level to midpoint of current season's growth.
- SPR. - Spread measured across the average diameter of plant.
- O.C. - On center. Horizontal spacing of plants center to center.
- P.P.P. - Plants per pot.
- Container sizes are only a guide. Contractor is responsible for size and quantity of plant material as specified. No container material shall be returned. Where B&B material is specified, container material will not be accepted without written consent of Landscape Architect or Owner.

C. QUALITY AND SIZE

Plants shall have a habit of growth which is normal for the species and shall be free from physical damage, insects or pests, and adverse conditions that would prevent thriving growth. Measurements specified in the plant list are the minimum acceptable sizes. All plant materials used shall be true to name and size in conformance with the Grades and Standards for Nursery Plants, State Plant Board of Florida and shall be graded Florida No. 1 or greater, except where noted in the contract documents. Plants shall be graded before pruning. Any necessary pruning shall be done after planting, and with the consent of the Landscape Architect or Owner. Plants which do not meet the requirements will not be accepted.

D. SUBSTITUTIONS

No substitutions shall be accepted without the written consent of the Landscape Architect, Owner, or their representatives. Proof must be submitted that the plant in question is not available in the type or size specified. The Landscape Architect or Owner shall determine the nearest equivalent replacement.

E. TRANSPORTATION AND STORAGE

All plant material shall be protected from possible injury or breakage of branches. All plants shall be delivered adequately covered to prevent windburn, drying, or damage. Plants which cannot be planted immediately shall be adequately heeled in and protected from the drying of sun and wind. All plants shall be watered as necessary until planting. Storage period shall not exceed 72 hours. All palms shall have their buds tied with burlap strips to remain in place until the tree is well established in its new location (this may be waived with the consent of the Landscape Architect or Owner). Trees moved by crane or winch shall be adequately protected from chain marks and girdling by approved methods.

F. INSPECTION

No plant material shall be planted until it is inspected and approved by the Landscape Architect, Owner, or their representatives. Contractor shall give the Landscape Architect or Owner two (2) days notice for inspection of plant material. Inspection may be waived at the discretion of the Landscape Architect or Owner, in which case, the Contractor will still be responsible for complying with all specifications. Contractor shall be responsible for all inspections of plant material that may be required by State or Federal authorities and inspection certificates shall be submitted to the Landscape Architect or Owner. Rejected material shall be replaced at no additional cost. Landscape Architect, at his discretion, may tag any or all plant material in the nursery.

G. PLANTING SOIL

Planting soil shall consist of fertile friable soil of a sandy loam nature and shall be derived from 50% minimum amount of decomposed organic matter (muck or peat) and 50% clean sand with no trace of salinity. There must be a slight acid reaction to the soil. Planting soil shall be free from stones, plants, roots, clods, sticks and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. Planting soil shall be applied in accordance with the Methods of Installation and details.

H. MULCH

Mulch shall be approved (as per Municipality) non-cypress mulch, unless otherwise specified, and shall be free of weeds, weed seeds, sticks and other foreign materials. It shall be applied to a minimum three (3) inch depth, unless otherwise specified, and moistened at the time of application to prevent wind displacement.

I. COMMERCIAL FERTILIZER

Commercial fertilizer shall be an organic fertilizer containing equal percentages of nitrogen, phosphoric acid and potash as available plant food by weight. 50% of the nitrogen shall be derived from natural organic sources. The trace elements of iron and magnesium must also be present. The minimum analysis acceptable shall be 6N-6P-6K. Fertilizer shall be dry, free flowing, and delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. If Milorganite with trace elements is to be used, application rates are as follows:

Trees:	12 lbs./2"-3" caliper tree
7gal + :	4 lbs./container
3gal :	1 lb./container
1 Gal. Can:	5 lbs./container
4" Pot:	25 lbs./container
Groundcover Beds:	10 lbs./100 sq. ft.

Fertilizer shall be spread before laying mulch and at the above recommended rates, unless otherwise specified. If plant tablets are called for, they shall be Agriform 20-10-5 formula, 21 gram tablets. Tablets shall be placed mid-way to the plant ball in the back fill material and at manufacturer's rates, unless otherwise specified.

J. WATER

Water is to be furnished by the Owner. The Contractor shall transport as required.

K. SOD (WHEN APPLICABLE)

Sod shall be one year old and of the variety indicated in the plant list. Sod shall be dense, vigorous, and green, with the grass having been mowed at least three times at a 2"-2 1/2" height before lifting from the field. Sod shall have a good root development and compact growth and contain no weeds, vermin, fungus, or other debris. No soil shall be used which is not certified as being free of the imported fire ant. All sticks, stones, and other foreign material over one inch in diameter shall be removed from the top 2" of soil. Grade areas to be sodded so that the top of sod will be the finished grade. Solid sod shall be laid with closely abutting joints with a tamped or rolled even surface. Avoid a continuous seam along the line of water flow in swales. Place sod at right angles to slope. All sod edges shall be neat and even and conform to the shape of the planting plans. Rolling may be required at the discretion of the Landscape Architect or Owner. If the Landscape Architect or Owner determines that top-dressing is required after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed. Rolling and top-dressing shall be done at no extra cost to the Owner.

L. SEED (WHERE APPLICABLE)

Grass seed shall be of the mixture called for in the plant list. It shall be a standard grade seed of the current or last year's crop. Seed which has become wet, moldy, or otherwise damaged will not be accepted. Seed must come in unopened packages with the procurer's guaranteed analysis attached. Weed seed content shall not exceed 0.25%. Before any planting, the ground shall be plowed or scarified to a depth of at least 4" and shall be raked and smoothed evenly to establish a final grade. All sticks, and other foreign material over one inch in diameter shall be removed. Contractor shall use the Hydromulch seeding method and supply all material and equipment necessary to perform the specified work. Seed shall be applied at a rate of 2-3 pounds per 1000 sq. ft. (90-100 lbs./acre). Mulch shall be "Silva Fiber" processed wood fiber or approved equal and applied at the rate of 50 lbs./acre. All materials shall be uniformly blended in an operating system using clean water and applied uniformly at the rates specified. Contractor shall be responsible for proper watering of the seeded areas in order to avoid runoff, and for keeping the ground moist until the grass is re-established, and watering for proper growth until the work is accepted. Contractor shall repair erosion caused by excessive rainfall or watering at no extra cost to the Owner. Any areas which are damaged or do not germinate within the first thirty (30) days shall be re-seeded and maintained until grass is established. Grass shall be vigorous and healthy and coverage shall be at least 95% prior to final acceptance.

III. METHODS OF INSTALLATION

A. LAYOUT

Location of plants and layout of all beds are indicated on the plans. Plant locations are to be staked in the field by the Contractor, Landscape Architect or Owner will check staking of plants in the field on his satisfaction before planting begins. Where surface or subsurface obstructions are encountered or where changes have been made in construction, necessary adjustments will be approved by the Landscape Architect or Owner.

B. EXCAVATION FOR PLANTING

Planting holes shall be excavated to a minimum depth of four (4) inches deeper than the depth of the root ball except for trees over 10 feet in height (see section III. C). Holes shall be a minimum of six (6) inches greater in diameter than the root ball for shrubs and eighteen (18) inches greater in diameter for trees. All existing vegetation, including sod, shall be completely removed from all planting beds before planting. Four (4) inches of planting soil shall be incorporated into all planting beds for rooted cuttings. Where applicable, planting holes for all trees, shrubs, and groundcovers shall be excavated through any compacted building subgrade or road rock to undisturbed subsoil or clean sand fill. All excess excavation material shall be removed from the site by the Contractor. Holes shall be back-filled with planting soil as defined in Section II, G and as shown in details. The following is a guide for planting soil quantities:

Trees - 10' or greater	9 cu. ft.
Trees - 8' ht.	6 cu. ft.
Lerio	1 cu. ft.
3gal Can	.5 cu. ft.
Gallon Can	.25 cu. ft.
4" Pot	.125 cu. ft.
Ground Cover - 4" mixed into entire bed	

Quantities of planting soil needed may be greater if excavation of building subgrade or roadrock is necessary.

C. SETTING TREES AND SHRUBS

All trees and shrubs are to be planted plumb on four (4) inches of planting soil and centered in the planting hole as far as to give the best appearance in relation to adjacent plants and structures. Trees over ten (10) feet in height shall be planted directly on the undisturbed subgrade. The finished grade level of the plant after settlement shall be the same as that at which the plant was grown. Rootballs on container grown material shall be scarified to prevent a root-bound condition. When the plant holes have been back-filled approximately 2/3 full with planting soil, water thoroughly, saturating rootball, before installing remainder of planting soil to top of hole, eliminating all air pockets. After settlement, add planting soil to the level of the finished grade, allowing three (3) inches for mulch. Form a shallow saucer around each plant by forming a ridge of soil along the edge of the planting hole. All Sabal palmetto are to be planted in sand. Water all plants immediately after planting.

D. PRUNING
Remove dead and broken branches from all plant material. Prune with sharp instrument flush with trunk or branch so as to leave no stubs. Prune to retain typical growth habit of the particular species. Point cuts over 1 1/2" in diameter with a waterproof antiseptic tree paint.

E. STAKING AND GUYING

Staking and guying of trees, where specified, is an option to be used by the Contractor, who will be responsible for material remaining plumb and straight for all given conditions through the guarantee period. The Landscape Architect, Owner or Owner's representative may require that a tree or trees be staked or guyed if the tree(s) are obviously unstable or pose a threat to person or property if they should fall. Tree support, if required by Landscape Architect or Owner, shall be done according to staking details provided. Staking and guying shall be done at no extra cost to the Owner. No method of support shall be permitted which causes physical damage to the plant. Any method of staking or guying not shown must be approved by the Landscape Architect.

F. MULCHING

All tree and shrub beds shall be mulched immediately after planting to a three (3) inch depth and thoroughly wetted down. Unless otherwise specified, the following configurations will apply:

- Trees and Palms: 3" diameter ring
- Hedges: 3" wide beds
- Shrub masses: continuous bed extending 2' outside of plants, in configurations shown on plans
- Ground cover beds: entire surface (mulching of certain ground cover plants may be waived by Landscape Architect)

G. FINISH GRADES

- Finish grades for all sod areas after settlement shall be 1/2" below top of adjacent curbs, walks, walls, and outcrops.
- Finish grade of all ground cover beds after mulching and setting shall be 1/2" below finish grade of sod, adjacent curbs, walks and walls.
- Finish grading shall include the removal of all surface rock and other debris that prevents a smooth level surface.

H. CLEANUP

All areas shall be kept clean and orderly as the work progresses. Upon completion of planting, all excess deleterious materials and debris shall be removed from the site or disposed of as directed by the Landscape Architect or Owner. All tags and ribbons shall be removed from trees and shrubs.

I. MAINTENANCE

A maintenance period shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance of new planting shall consist of watering, cultivating, weeding, mulching, restaking, repairing and tightening guys, resetting plants to proper grades and positions, removal of dead materials, restoration of planting saucers, maintaining any barriers or fences, and any other necessary operations. Any damage created by the planting operation shall be repaired promptly. All trees and other B&B material shall be deep watered a period of least twenty one (21) days after installation and at least once every other day during the (21) day period.

IV. FINAL INSPECTION AND ACCEPTANCE

A. Inspection of work to determine completion of contract, but exclusive of the replacement of plant materials under the Warranty Period, will be made by the Landscape Architect or Owner at the conclusion of all planting and at the written request of the Contractor.

B. The Contractor will be notified by the Landscape Architect or Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to Warranty.

V. WARRANTY PERIOD AND REPLACEMENT

- The Contractor, as part of this contract, shall guarantee all materials, workmanship, and plant materials for a period of twelve (12) months from the time of final acceptance. Exception: sod shall be guaranteed for thirty (30) days. Guarantee shall apply to the position, health, shape, condition, and specified size and quality of all plant material.
- The guarantee shall be null and void for plant material that is damaged or dies as a result of freeze, hail or hurricane-force winds, provided the material was properly planted and in a healthy growing condition prior to such acts of Nature.
- The Contractor shall not be held responsible for failures due to neglect by Owner or acts of vandalism during the Warranty Period.
- During, or at the end of the Warranty Period, any plant that is dead or not in satisfactory condition, as determined by the Landscape Architect or Owner, shall be replaced by the Contractor at no cost to the Owner. The Contractor's replacement costs shall be shared equally by the Owner and the Contractor, should the replacement not survive, unless the plant(s) have not been planted in accordance with previous specifications as determined by the Landscape Architect or Owner. All replacements shall be furnished and planted as specified herein.
- The Warranty Period for replaced plant material shall commence on the date of acceptance of the replaced item(s) of plant material.

VI. ADDENDA

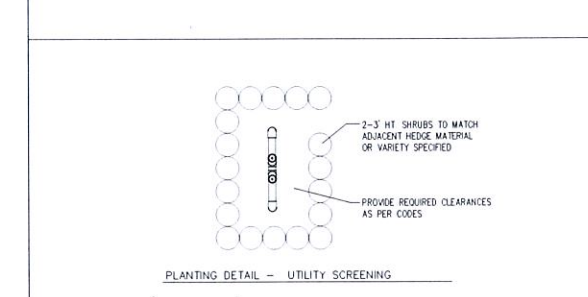
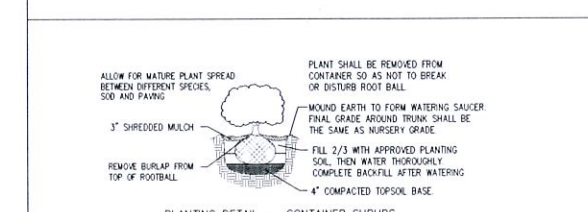
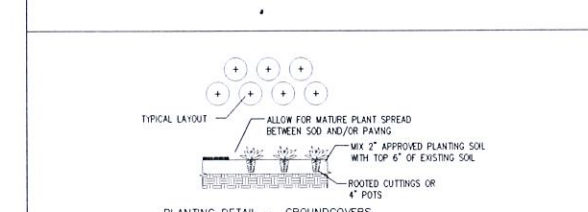
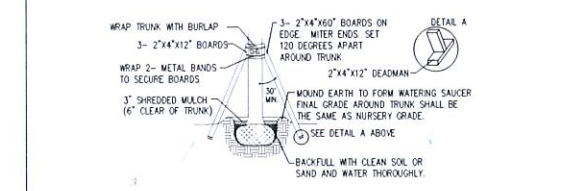
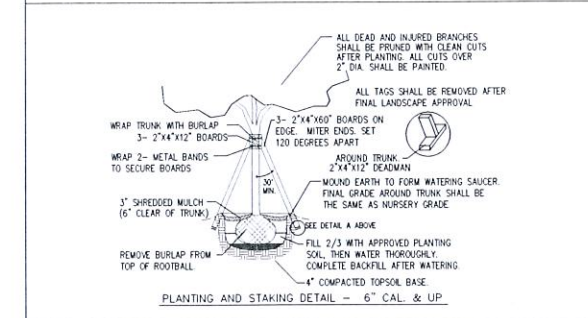
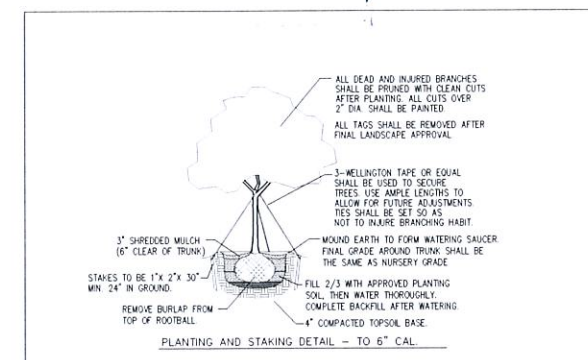
All addenda apply to section(s) specified in the contract documents and therefore are to be considered a part of the contract.

SITE RESTORATION

The contractor shall remove all excess material and shall clean up and restore the site to its original condition or better. All damage, as a result of work under this Contract, done to existing structure, pavement, driveways, paved areas, curbs and gutters, sidewalks, shrubbery, grass, trees, utility poles, utility pipe lines, conduits, drains, catch basins, flagstones, rock, gravelled or stabilized areas or driveways and including all obstructions not specifically named herein, shall be repaired and restored to a condition acceptable to the Landscape Architect or owner.

CONTRACTOR TO CHECK DRAWINGS AND DATA

The Contractor shall verify all dimensions, quantities, locations, materials and details shown on the Drawings, supplementary drawings, schedules or other data received from the Landscape Architect, and shall notify him of all errors, omissions, conflicts and discrepancies found therein. Failure to discover or correct errors, conflicts or discrepancies shall not relieve the Contractor of full responsibility for unsatisfactory work, faulty construction, or improper operation resulting therefrom nor from rectifying such condition at his own expense. He will not be allowed to take advantage of any error or omissions, as full instructions will be furnished by the Landscape Architect or Owner, should any error or omissions be discovered. All schedules are given for the convenience of the Client, Landscape Architect and Contractor and are not guaranteed to be complete.



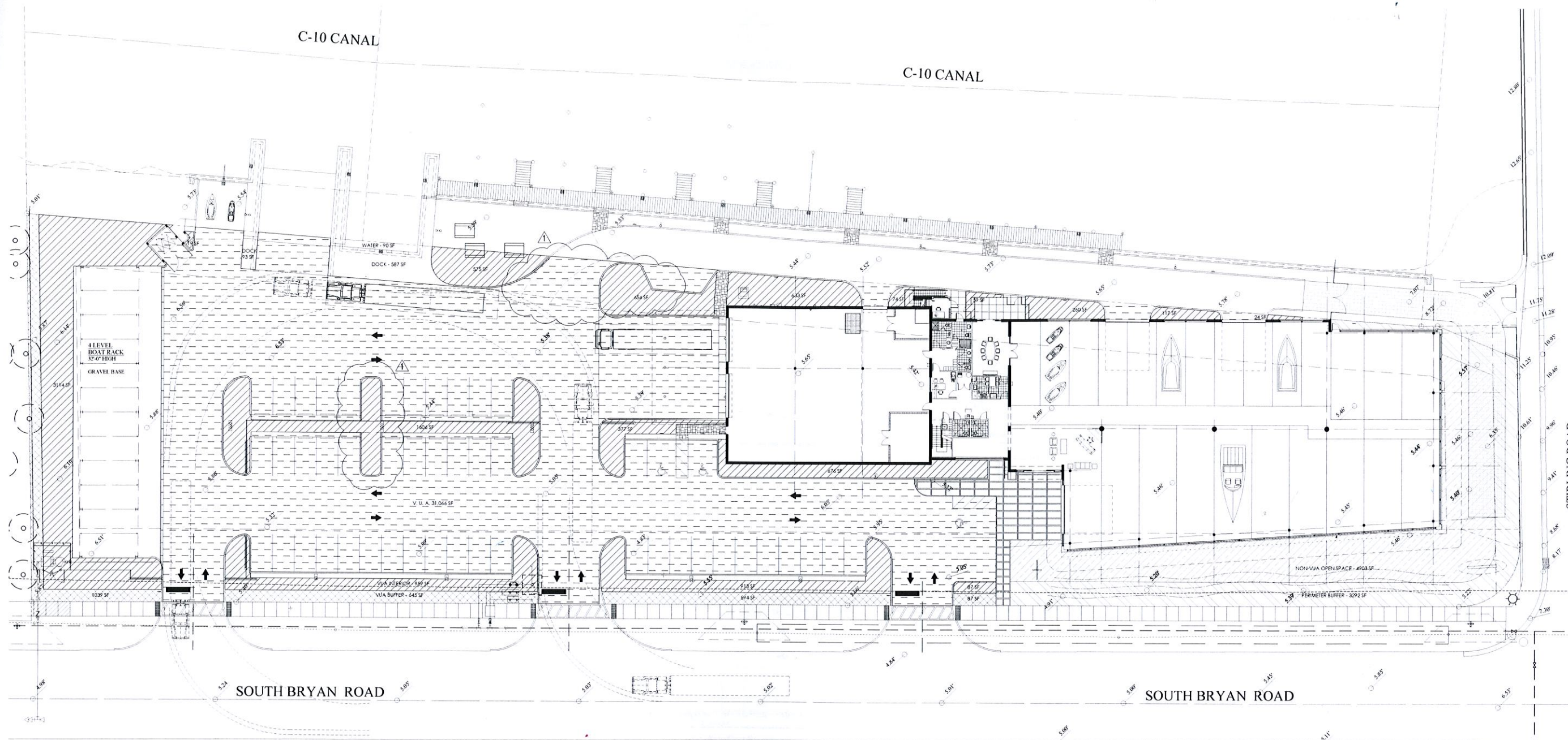
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7/2/14	DATE
8/5/14	REV.
8/28/14	REV.
9/8/14	REV.



A. GRANT
THORNBROUGH
AND ASSOCIATES

LANDSCAPE ARCHITECTS
AND LAND PLANNERS

132 North Swinton Avenue
Delray Beach, FL 33444
(561) 276-5050
FAX (561) 276-8777



SCALE: 1" = 20'-0"

LANDSCAPE AREAS

KEY	AREA	MEASUREMENT
	TOTAL PROPERTY	83,163.67 SF
	IMPERVIOUS AREA	57,987.67 SF
	PERVIOUS AREA	25,176 SF
	VEHICULAR USE	31,066 SF
	VUA BUFFER	2,365 SF
▲	VUA LANDSCAPE	10,147 SF
	NON-VUA LANDSCAPE	4,903 SF
	PERIMETER BUFFER	3,292 SF

PROJECT
STIRLING MARINA &
NEW BOAT SALES
DANIA BEACH, FL
TITLE
LANDSCAPE PLAN

PROJ. NO.	FILE NAME	DRAWN	DATE	REV.
	PC/AGT/CP		7/2/14	
▲			8/5/14	REV.
▲			8/28/14	REV.
▲			9/8/14	REV.



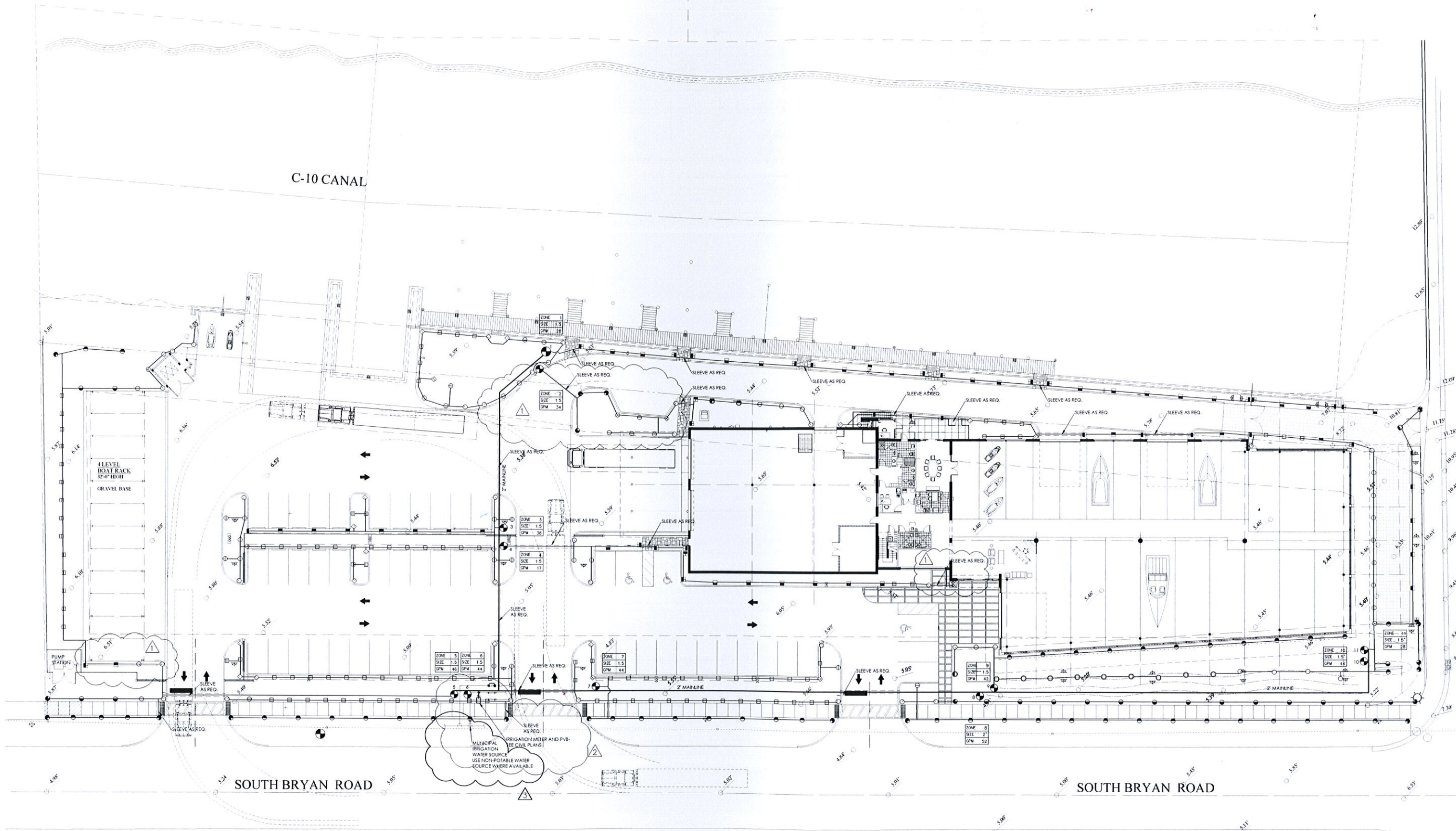
A. GRANT
THORNBROUGH
AND ASSOCIATES

LANDSCAPE ARCHITECTS
AND LAND PLANNERS

132 North Swinton Avenue
Delray Beach, FL 33444
(561) 276-5050
FAX (561) 276-8777



SCALE: 1" = 20'-0"



HEAD LAYOUT PLAN



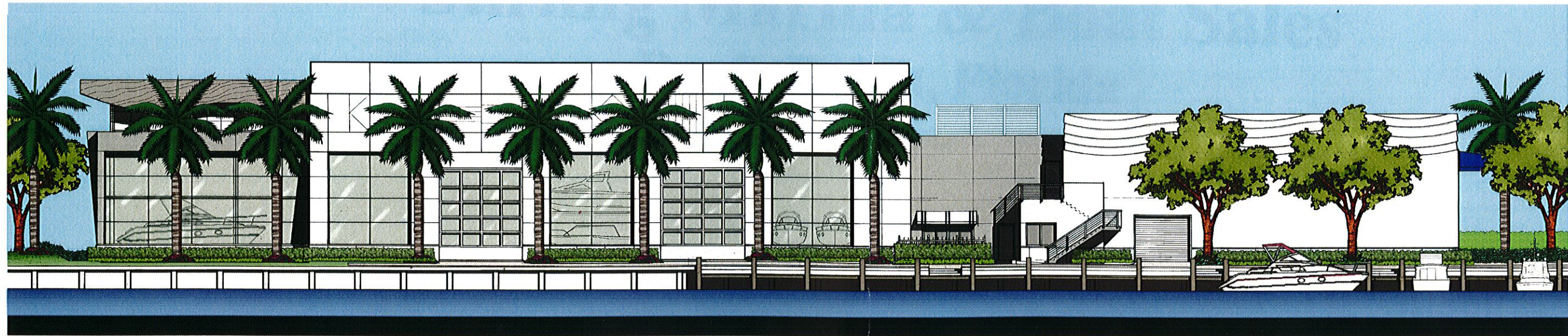
PROJECT
STIRLING MARINA &
NEW BOAT SALES
DANIA BEACH, FL
TITLE
IRRIGATION PLAN

PROJ. NO.	FILE NAME
PC/AGT/CP	DRAWN
6/2/14	DATE
1	8/5/14 REV.
2	8/28/14 REV.
3	9/8/14 REV.



WEST ELEVATION

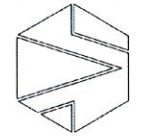
SCALE = 3/32" = 1'-0"



EAST ELEVATION

SCALE = 3/32" = 1'-0"

Vander Ploeg and Associates, Inc.
 architects and planners
 155 east boca raton road
 boca raton, florida 33432
 (561) 368-1403 PH
 (561) 750-8051 FAX



STIRLING MARINA & BOAT SALES

150 SOUTH BRYAN ROAD
 DANIA BEACH, FLORIDA
 LODKA HAUS
 49 BAKHMETEVSKAYA STREET
 SARATOV, RUSSIA 410056

Project: _____
 Location: _____
 For: _____
 comm. no. 14004
 drawn _____
 date JULY 24, 2014
 sheet no. _____
A-3
 revision _____